

JINDEE

LOCAL DEVELOPMENT PLAN

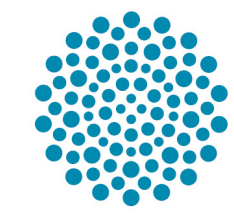
JINDEE, WESTERN AUSTRALIA

NOVEMBER 2023

LDP NO. 10.0
INDIVIDUAL LOT PLANS

DOCUMENT CONTROL -
MODIFICATIONS TO LOCAL DEVELOPMENT PLAN REPORT

MODIFICATION	DATE APPROVED BY CITY OF WANNEROO	DESCRIPTION
0	NOVEMBER 2023	ILP - FINAL ENDORSEMENT



Legend

- Public Realm
- LDP Boundary
- No Vehicular Access
- Carriageway and vehicle direction
- Carriageway and On-street Parking
- Roads Kerb Barrier
- Rubbish Bin Collection Point
- Mass Irrigated Groundcover Planting with Mulch (Indicative)
- Passages (refer Operative Provision No.5)
- Civic Space (refer Operative Provision No.5)
- Paving Type A - Laneway
- Paving Type B - Path
- Paving Type C - Street and Drive
- Paving Type J - Herringbone Paving
- Kerb radii as shown (all kerb radii 2.5m or less, unless shown otherwise)
- Proposed light pole location

Legend

- Private Realm
Building Type
C Cottage Type
H House Type
V Villa Type
T Terrace Type
A Apartment House Type
Specific Design Requirements (refer Operative Provision No.12)
Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
Permitted Building Encroachment Zone - Zone in which the Building will be permitted in the nominated Setback area (refer to Operative Provision No. 7)
Required Sideyard Wall (refer to Operative Provision No. 10)
Build-to-line (BTL) (refer to Operative Provision No. 6)
Datum and Pad Level (refer Operative Provision No. 5)
Spot Levels
Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
Special Design Response - Private Landscaping
Entry Steps
Landing
Indicative Retaining Wall Locations
Retaining Wall Type 2
No Vehicular Access
Indicative Services Area

Table 1 - Tree Species and Spacing

Table with 5 columns: Street Type, Single or Mixed Species, Typical Tree Species, Spacing, Arrangement. Lists various tree species like Tipuana tipu, Agonias flexuosa, etc.

Tree Species

- Cupaniopsis anacardioides (Tuckeroo)
Agonias flexuosa (WA Peppermint)
Delonix regia (Poinciana)
Tipuana tipu (Rosewood)
Olea europaea (Olive Tree)
Ulmus parvifolia (Chinese Elm)
Metrosideros excelsa (New Zealand Christmas Tree)
Ficus rubiginosa (Port Jackson Fig)
Platanus orientalis (Oriental Plane Tree)
Corymbia ficifolia (Summer Red)
Eucalyptus caesia (Gunguru)
Eucalyptus gomphocephala (Tuart)
Banksia integrifolia (Coast Banksia-NSW)
Hibiscus tiliaceus rubra (Cotton Hibiscus)
Erthrina sykesii (Common Coral Tree)
Angophora costata (Sydney Red Gum)
Gleditsia triacanthos (The Honey Locust)

* Root mitigation measures and final locations for Eucalyptus gomphocephala and Ficus rubiginosa to be determined and agreed at detailed landscape approvals.



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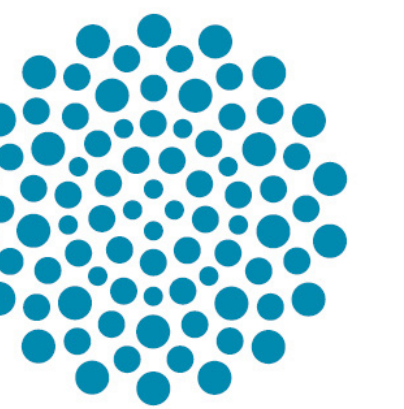
PUBLIC REALM - OPERATIVE PROVISIONS

- 1. Landscape and Trees
a) Street Trees
b) Groundcover
c) Laneway Planting
2. Parking
a) On Street Parking
b) Laneway parking and access
3. Street Lighting
4. Lot Truncations
5. Detailed Design of Civic Spaces
6. Refuse Collection
7. Paving Materials
8. Kerbing Type

PRIVATE REALM - OPERATIVE PROVISIONS

- All Development on the land referred to in this LDP is to comply with the requirements of Local Development Plan Number 100 (LDP 100).
1. Site Works
a) Maximum Lot Level
b) Stormwater management
c) Retaining Walls
d) Earthworks and Fill
2. Density (No of Dwellings)
a) Limit on Number of Dwellings
b) Apartment House Dwelling Units
c) Ancillary Units
3. Dwelling Controls
a) Maximum Lot Coverage
b) Building Type
c) Lot Type
d) Building Disposition
e) Terrace Groupings
4. Plinth
a) Requirement for a Plinth
b) Plinth constructed by Developer
c) Plinth constructed by Lot Owner
d) Required building element to attach to Plinth
5. Building Heights
a) Limit on Storeys
b) Maximum External Wall Height
c) Measurement of External Wall Height from Lot Datum
d) Exceptions
6. Setbacks and Build-to-Lines
a) No Development in Setbacks
b) Designation of Boundaries
c) Setback Lines
d) Build-To-Line (BTL)
e) Parapet Walls
7. Permitted Encroachments
a) Permitted Encroachments into Setbacks

- 8. Private Frontage and Elevation Requirements
a) Private Frontage
b) Principal Elevations
c) Secondary Elevations
9. Garaging, Parking and Vehicle Access
a) Minimum Garaging Requirement
b) Ancillary Unit Garaging
c) Restriction of Vehicle Access
d) Garage Disposition
e) Screening of garages from public realm
f) Crossovers
g) Garage doors
10. Fencing and Walling
a) Attached Walls and Sideyard Walls
b) Modifications to visually permeable fencing
11. Privacy Requirements
a) Development on a Lot must meet the following Privacy requirements:
i. Openings, Terraces, Balcones and Verandahs on the first floor or above and in any Loft are restricted in the manner referred to in Items 11a-i-iv of the relevant ILP.
ii. Where Items 11a-i-iv of the relevant ILP indicate that no privacy requirements apply to specific Elevations, the Lot Owner is responsible for the privacy they require to these areas, and is not to seek to impose privacy restrictions on the neighbour(s) of an Adjoining Property to achieve privacy to these areas.
12. Specific Design Requirement
a) Specific Design Requirement
13. Refuse Storage enclosures and collection
a) Bin Storage
b) Bin Collection Point
14. Design Outcomes - Additional Requirements + Controls
a) Additional Controls
b) Architectural Standards
c) Buildings Proportions
15. Landscaping + Street Trees
a) Landscape Required
b) Street trees
c) Offence to remove or damage street streets
16. External Fixtures
a) Exemptions
17. Exemptions to Planning Approval
a) Exemptions
18. No modification of Building elements provided by the Jindee Developer without Consent
19. Termination of the Role of the JTAO



JINDEE LOCAL DEVELOPMENT PLAN No. 10.0 PUBLIC AND PRIVATE REALM REQUIREMENTS

Unless stated otherwise, the standards and controls contained in the LDP are non-discretionary and have the same force and effect as if they are a provision of the Agreed LSP No. 84.

This Local Development Plan has been approved by Council under Clause 52(1)(a) of the Deemed Provisions of District Planning Scheme No.2. Endorsement of this LDP constitutes endorsement of the individual Lot Plans for each lot.

Manager Approval Services
City of Wanneroo

6 December 2023
Date



Legend

Building Type

- C** Cottage Type
- H** House Type
- (SDR)** Specific Design Requirements (refer to Operative Provision No.12)
- Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- Permitted Building Encroachment Zone - Zone in which the Building will be permitted in the nominated Setback area (refer to Operative Provision No. 7)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- Datum and Pad Level (refer Operative Provision No. 5)
- Spot Levels
- Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Entry Steps
- Indicative Retaining Wall Locations
- Retaining Wall Type 2
- No Vehicular Access
- Indicative Services Area
- 1** Principal Boundary
- 2** Secondary Boundary
- 3** Side Boundary (South)
- 4** Side Boundary (North)
- 5** Rear Boundary
- Proposed Light Pole Location

Lot 233 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 233. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

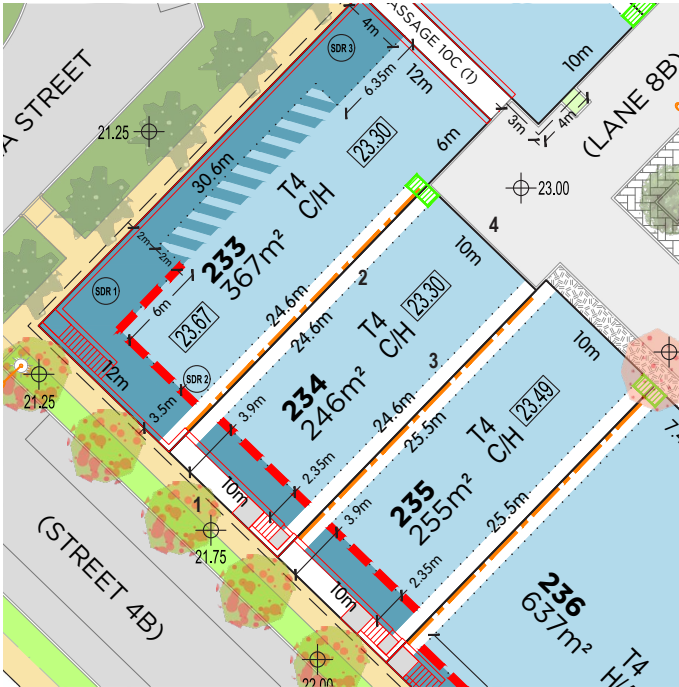
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Rearyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall and stairs as shown on plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah or a Terrace with a Pergola
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	23.30/ 23.67 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.5 metres from the Principal Boundary within the Lot for a length of 7.0 metres measured from the Side Setback Line (South).
b.	Secondary Setback Line	Is parallel to and located 4.0 metres from the Secondary Boundary within the Lot for a distance of 27.1 metres measured from the Principal Setback Line.
c.	Side Setback Line (North)	Is parallel to and located on the Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot. A portion of the Side Setback Line (South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. BTL 1) is parallel to and located 3.5 metres from the Principal Boundary within the Lot, for a distance of 7.0 metres measured from the Side Setback Line (South). BTL 2) is parallel to and located 4.0 metres from the Secondary Boundary for a distance of 6.0 metres measured from the Principal Setback Line.
g.	BTL Percentage	BTL 1) 90% minimum and BTL 2) 100%
h.	Required Parapet Wall Location	N/A
7	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Setback	
i.	Permitted Encroachments beyond the Principal Setback	Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach beyond the Principal Setback	3.5 metres measured from the Principal Setback Line. Encroachment is permitted to extend over the entry stairs and bottom landing.
b.	Encroachments beyond Secondary Setback	
i.	Permitted Encroachments beyond the Secondary Setback	Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps Towers and Projecting Fronts provided they comply with the Specific Design Requirements in this ILP including the required Gable Ends and being the same width.
ii.	Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	4.0 metres measured from the Secondary Setback Line. The building may encroach into the Secondary Setback by 2.0 metres measured from the Secondary Setback Line, as depicted on the Plan, provided that a Verandah or Pergola is attached to the Building and extends to and attaches to the Retaining Wall.
c.	Encroachments into Side Setback (North)	
i.	Permitted Encroachments into Side Setback (North)	N/A
d.	Encroachments into Side Setback (South)	Eaves, Shade Devices and Attached Fences.
e.	Encroachments into Rear Setback	
i.	Permitted Encroachments into Rear Setback	N/A
8	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front. Note: A Projecting Front is permitted only in the Secondary Setback.

ITEM	DESCRIPTION	REQUIREMENT
9	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (North and South).
d.	Permitted Garage Disposition	Rear Direct , Rear Back Court.
10	Attached Fencing and Sideyard Walling	
a.	Type required	Attached Fence
11	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation (North)	Nil
vi.	Side Elevation (South)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes - Three SDR's SDR 1) A Projecting Front is mandated, being setback not more than 1.0m from the Secondary Boundary and 6.0 metres wide, with a required Gable End to the side of the Principal Elevation. SDR 2) A Gable End is mandated to the side of the Principal Elevation to the same width as SDR 1. SDR 3) A Projecting Front with a Gable End is mandated, being setback not more than 1.0 metre from the Secondary Boundary and Side Boundary North. SDR 3 is required to mirror all elements of SDR 1 noted within this LDP including that the Gable End is the same width as the Gable End in SDR 1.
13	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view.
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes, as indicated on LDP.
14	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15	External Fixtures	Refer - Private Realm Operative Provisions
16	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

- C** Cottage Type
- H** House Type
- (SDR)** Specific Design Requirements (refer to Operative Provision No.12)
- Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- 23.30 Datum and Pad Level (refer Operative Provision No. 5)
- ϕ 23.00 Spot Levels
- Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Entry Steps
- Indicative Retaining Wall Locations
- Retaining Wall Type 2
- No Vehicular Access
- Indicative Services Area
- 1** Principal Boundary
- 2** Side Boundary (North)
- 3** Side Boundary (South)
- 4** Rear Boundary
- * Proposed Light Pole Location

Lot 234 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 234. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

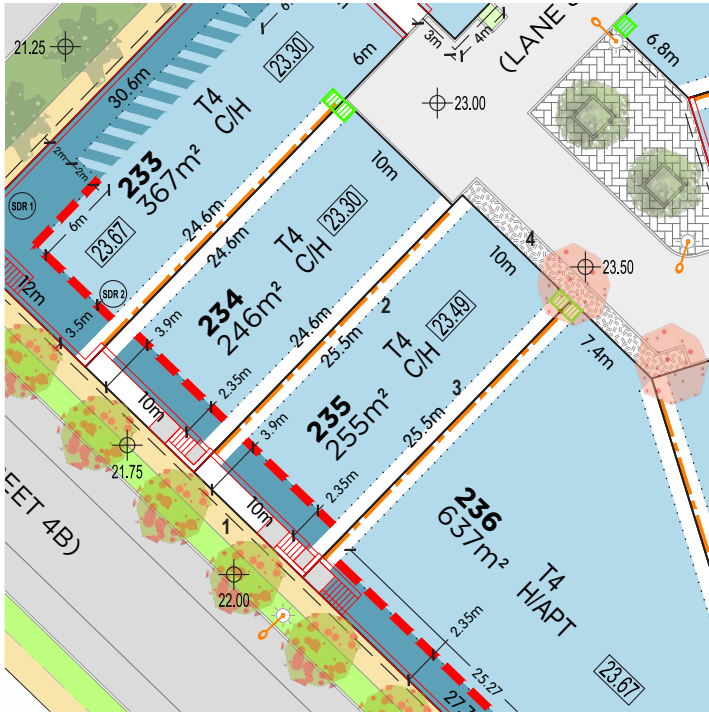
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Type	Cottage, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	23.30 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary for a length of 8.0 metres measured from the Side Setback Line within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot. A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot. A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured 1.0 metre from the Side Boundary (North or South) as shown on the Plan.
g.	BTL Percentage	80% minimum.
h.	Required Parapet Wall Location	N/A
7	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
8	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah.

ITEM	DESCRIPTION	REQUIREMENT
9	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House- 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South).
d.	Required Garage Disposition	Rear Direct, Rear Side Stack.
10	Attached Fence and Sideyard Walling	
a.	Type required	Attached Fence
11	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (North)	Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (South)	Restricted Outlook <ul style="list-style-type: none"> Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	No
13	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes
14	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15	External Fixtures	Refer - Private Realm Operative Provisions
16	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

- C** Cottage Type
- H** House Type
- (SDR)** Specific Design Requirements (refer to Operative Provision No.12)
- [Blue Shaded Area]** Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- [Red Dashed Line]** Build-to-line (BTL) (refer to Operative Provision No. 6)
- [23.49]** Datum and Pad Level (refer Operative Provision No. 5)
- ±23.50** Spot Levels
- [Blue Shaded Area]** Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- [Red Hatched Area]** Entry Steps
- [Red Dotted Line]** Indicative Retaining Wall Locations
- [Orange Dashed Line]** Retaining Wall Type 2
- [Grey Line]** No Vehicular Access
- [Green Hatched Area]** Indicative Services Area
- 1** Principal Boundary
- 2** Side Boundary (North)
- 3** Side Boundary (South)
- 4** Rear Boundary
- [Light Pole Symbol]** Proposed Light Pole Location

Lot 235 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 235. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

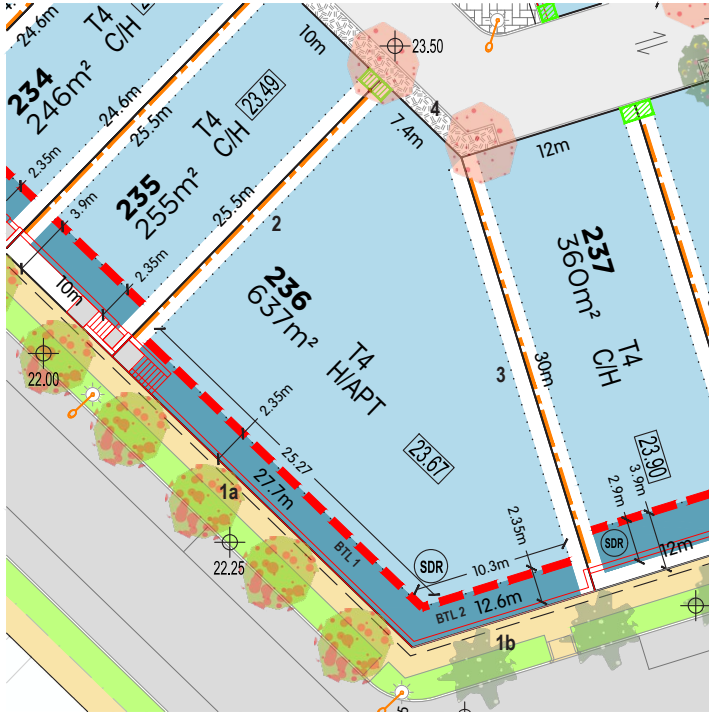
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Type	Cottage, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	23.49 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary for a length of 8.0 metres measured from the Side Setback Line within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot. A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot. A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured 1.0 metre from the Side Boundary (North or South) as shown on the Plan.
g.	BTL Percentage	80% minimum.
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South).
d.	Required Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached Fence and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (North)	Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (South)	Restricted Outlook <ul style="list-style-type: none"> Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	No
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

- H** House Type
- APT** Apartment House Type
- (SDR)** Specific Design Requirements (refer to Operative Provision No.12)
- Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- 23.67 Datum and Pad Level (refer Operative Provision No. 5)
- $\oplus 23.25$ Spot Levels
- Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Entry Steps
- Indicative Retaining Wall Locations
- Retaining Wall Type 2
- No Vehicular Access
- Indicative Services Area
- 1a + 1b** Principal Boundary
- 2** Side Boundary (North)
- 3** Side Boundary (East)
- 4** Rear Boundary
- ✦ Proposed Light Pole Location

Lot 236 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 236. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

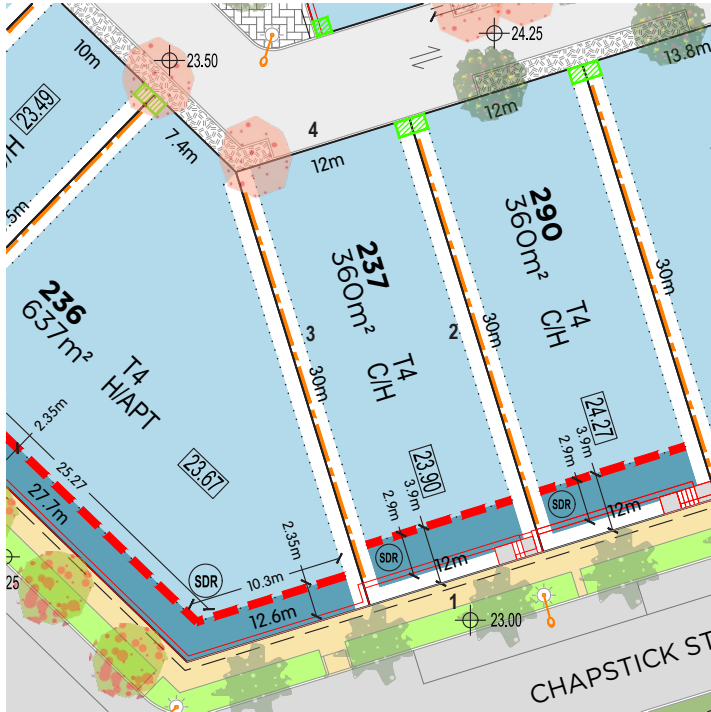
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	As determined by the extent of development provisions contained in the LDP.
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Types	House, Apartment House
c.	Lot Type Designation	Corner Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	23.67 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	1a + b) is parallel to and located 2.35 metres from the Principal Boundary, for a length of 35.57 metres measured from the Side Setback Line within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot. A portion of one (1) of the Side Setback Lines (North or East) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot. A portion of one (1) of the Side Setback Lines (North or East) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	BTL 1) is parallel to and located 2.35 metres from the Principal Boundary for a length of 25.27 metres, measured 1.0m metre from the Side Boundary (North), and BTL 2) is parallel to and located 2.35 metres from the Principal Boundary for a length of 10.3 metres, measured 1.0 metre from the Side Boundary (East).
g.	BTL Percentage	BTL 1) 80% and BTL 2) 80%
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Setback	
i.	Permitted Encroachments beyond the Principal Setback (1a + b)	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element
ii.	Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.35 metres measured from the Principal Setback Line (1a + 1b)
b.	Encroachments beyond Secondary Setback	
i.	Permitted Encroachments beyond the Secondary Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (North + East)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah, a Double Verandah, and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	House - 2 bays Apartment House - 1 bay/ 1 bedroom dwelling 2 bays/ 2+ bedroom dwelling
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North + East).
d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack, Rear Back Court, Rear Side Court.
10.	Attached Fencing and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (North)	Open Outlook. <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (East)	Open Outlook. <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes. Corner Treatment or Double Verandah.
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

- C** Cottage Type
- H** House Type
- (SDR)** Specific Design Requirements (refer to Operative Provision No.12)
- Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- 23.90 Datum and Pad Level (refer Operative Provision No. 5)
- $\oplus 23.00$ Spot Levels
- Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Entry Steps
- Indicative Retaining Wall Locations
- Retaining Wall Type 2
- No Vehicular Access
- Indicative Services Area
- 1** Principal Boundary
- 2** Side Boundary (East)
- 3** Side Boundary (West)
- 4** Rear Boundary
- ✦ Proposed Light Pole Location

Lot 237 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 237. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

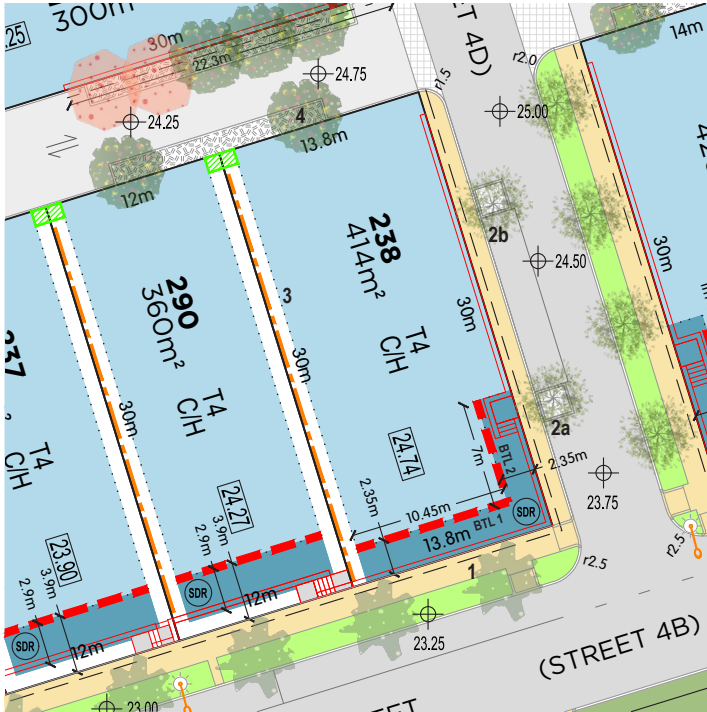
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	23.90 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary, for a length of 10 metres measured from the Side Setback Line within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot. A portion of one (1) of the Side Setback Lines (East or West) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot. A portion of one (1) of the Side Setback Lines (East or West) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot for a length of 10.0 metres, measured 1.0 metre from the Side Boundary (East or West) as shown on the Plan.
g.	BTL Percentage	80% minimum
h.	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.9 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah, and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached Fence and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation (South)	N/A
v.	Side Elevation (East)	Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (West)	Restricted Outlook <p>Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:</p> <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes - Projecting Front (location of Specific Design Requirement is depicted on the attached plan as a SDR)
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

- Building Type**
- C** Cottage Type
- H** House Type
- (SDR)** Specific Design Requirements (refer to Operative Provision No.12)
- [Blue Area]** Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- [Red Dashed Line]** Build-to-line (BTL) (refer to Operative Provision No. 6)
- [24.74]** Datum and Pad Level (refer Operative Provision No. 5)
- ⊕24.75** Spot Levels
- [Blue Area]** Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- [Red Hatched Area]** Entry Steps
- [Red Line]** Indicative Retaining Wall Locations
- [Orange Line]** Retaining Wall Type 2
- [Grey Line]** No Vehicular Access
- [Green Hatched Area]** Indicative Services Area
- 1** Principal Boundary
- 2a+2b** Secondary Boundary
- 3** Side Boundary
- 4** Rear Boundary
- [Light Pole]** Proposed Light Pole Location

Lot 238 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 238. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

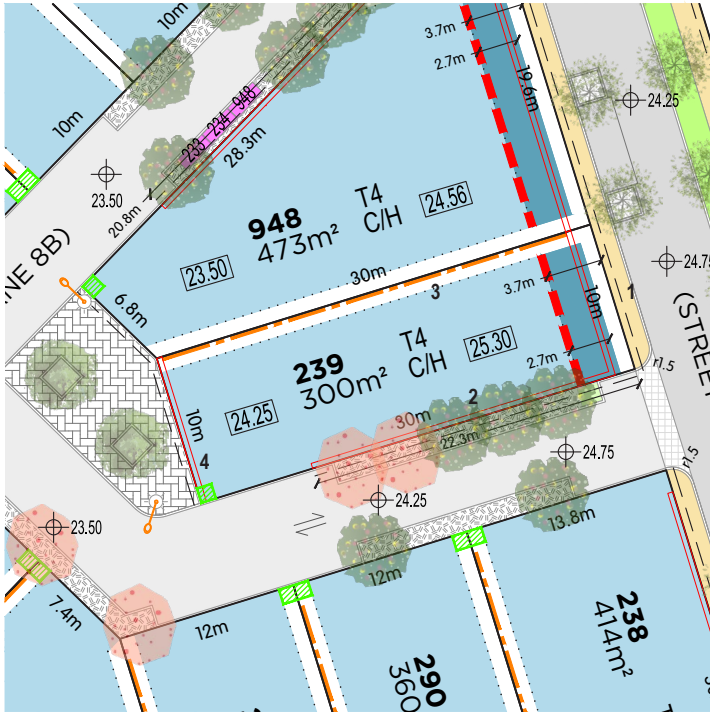
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	24.74 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary, for a length of 10.45 metres measured from the Secondary Setback Line within the Lot.
b.	Secondary Setback Line	2a) is parallel to and located 2.35 metres from the Secondary Boundary within the Lot for a length of 7.0 metres measured from the Principal Setback Line; and 2b) is parallel to and located on the Secondary Boundary within the Lot for a distance of 20.65 metres measured from the Rear Boundary.
c.	Side Setback Line	N/A
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot. A portion of the Side Setback Line (West) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL 1) is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 10.45metres, measured from the Side Setback Line (West) as shown on the Plan. BTL 2) is parallel to and located 2.35 metres from the Secondary Boundary 2a for a distance of 7.0 metres measured from the Principal Setback Line.
g.	BTL Percentage	BTL 1) 80% minimum and BTL 2) 100%
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Pergola, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	2a) Verandahs, Pergola, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. 2b) N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	2a) 2.35 metres measured from the Secondary Setback Line. An exception to this is Steps, which are not restricted. Encroachment is permitted to extend over the entry stairs and bottom landing. 2b) N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A

ITEM	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (West)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached Fence and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation	N/A
vi.	Side Elevation (West)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes - Projecting Front (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR').
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

- C** Cottage Type
- H** House Type
- Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- Datum and Pad Level (refer Operative Provision No. 5)
- Spot Levels
- Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Entry Steps
- Indicative Retaining Wall Locations
- Retaining Wall Type 2
- No Vehicular Access
- Indicative Services Area
- 1** Principal Boundary
- 2** Secondary Boundary
- 3** Side Boundary (North)
- 4** Rear Boundary
- Proposed Light Pole Location

Lot 239 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 239. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

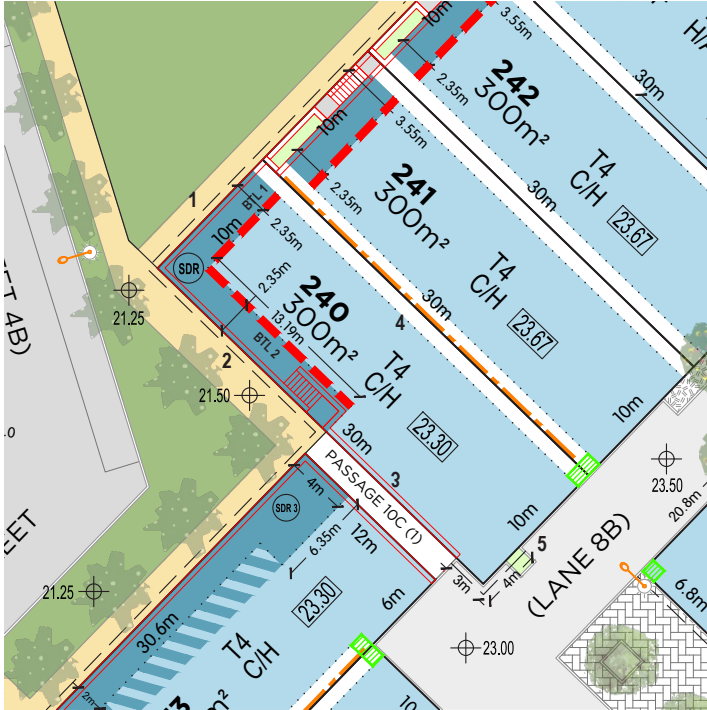
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Type	Cottage, House
c.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	24.25 / 25.30 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and 3.7 metres from the Principal Boundary for a length of 9.0 metres measured from the Secondary Boundary, within the Lot.
b.	Secondary Setback Line	Is parallel to and located on the Secondary Boundary within the Lot.
c.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
d.	Side Setback Line	N/A
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.7 metres from the Principal Boundary within the Lot for a length of 9.0 metres, measured 1.0 metre from the Side Boundary (North) as shown on the Plan.
g.	BTL Percentage	80% minimum.
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.7 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (North)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, a portion of the Secondary Boundary as depicted on the Plan, Side Boundary (North), Rear Boundary
d.	Required Garage Disposition	Rear Direct, Rear Side Stack, Rear Back Court.

ITEM	DESCRIPTION	REQUIREMENT
10.	Attached Fencing and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation (North)	Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation	N/A
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	No
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

- C** Cottage Type
- H** House Type
- (SDR)** Specific Design Requirements (refer to Operative Provision No.12)
- Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- 23.30 Datum and Pad Level (refer Operative Provision No. 5)
- ϕ 23.00 Spot Levels
- Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Entry Steps
- Indicative Retaining Wall Locations
- Retaining Wall Type 2
- No Vehicular Access
- Indicative Services Area
- 1** Principal Boundary
- 2** Secondary Boundary
- 3** Side Boundary (West)
- 4** Side Boundary (East)
- 5** Rear Boundary
- ✦ Proposed Light Pole Location

Lot 240 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 240. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

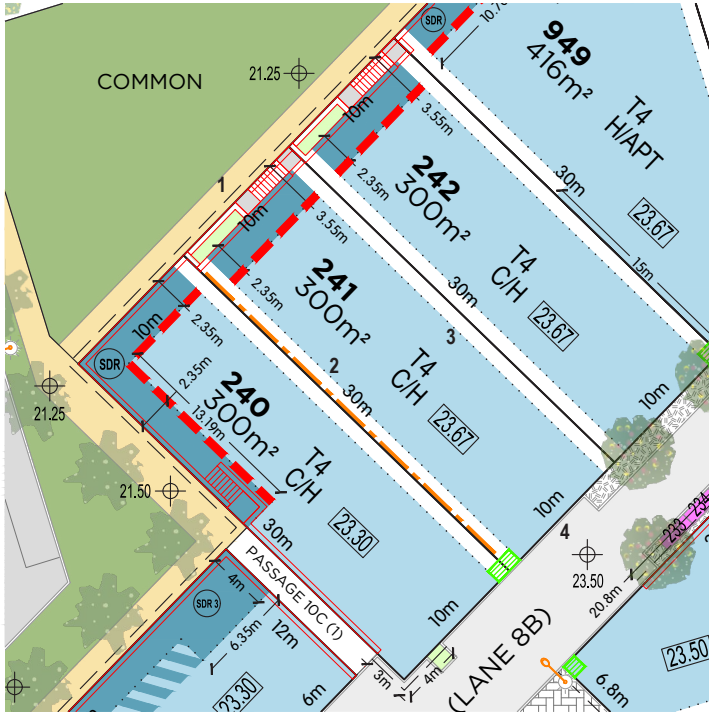
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Edge Lot
d.	Permitted Building Disposition	Edgeyard and Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on the Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	23.30 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35m from the Principal Boundary, for a length of 6.65 metres measured from the Secondary Setback Line within the Lot.
b.	Secondary Setback Line	Is parallel to and located 2.35m from the Secondary Boundary, for a length of 13.19 metres measured from the Principal Setback Line within the Lot.
c.	Side Setback Line (West)	Is located on the Side Setback Line (West) within the Lot as shown on the Plan.
d.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Setback Line (East) within the Lot. A portion of the Side Setback Line (East) may be located on the Site Boundary, for a distance of up to 12.0 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes, BTL 1) is parallel to and located 2.35 metres from the Principal Boundary for a length of 6.65 metres measured from the Secondary Setback Line, within the Lot as shown on the Plan, and BTL 2) is parallel to and located 2.35 metres from the Secondary Boundary for a length of 13.19 metres measured from the Principal Setback Line, within the Lot as shown on the Plan.
g.	BTL Percentage	BTL 1) 100% and BTL 2) 50% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Gatehouse, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	Verandahs, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Gatehouse, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	2.35 metres measured from the Secondary Setback Line. Encroachment is permitted to extend over the entry stairs and bottom landing.
c.	Encroachments into Side Setback (East)	
i.	Permitted Encroachments into Side Setback (East)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Side Setback (West)	
i.	Permitted Encroachments into Side Setback (West)	N/A
e.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A

ITEM	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah.
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (East and West), a portion of the Rear Boundary as depicted on the Plan.
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack
10.	Fencing and Walling	
a.	Required fencing:	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation (East)	Open Outlook <ul style="list-style-type: none"> Openings permitted Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (West)	Nil
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes - Corner Treatment or Double Verandah
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by JIndee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

- C** Cottage Type
- H** House Type
- (SDR)** Specific Design Requirements (refer to Operative Provision No.12)
- [Blue Shaded Area]** Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- [Red Dashed Line]** Build-to-line (BTL) (refer to Operative Provision No. 6)
- [23.67]** Datum and Pad Level (refer Operative Provision No. 5)
- ±23.50** Spot Levels
- [Blue Shaded Area]** Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- [Red Hatched Area]** Entry Steps
- [Red Line]** Indicative Retaining Wall Locations
- [Orange Line]** Retaining Wall Type 2
- [Grey Line]** No Vehicular Access
- [Green Hatched Area]** Indicative Services Area
- 1** Principal Boundary
- 2** Side Boundary (West)
- 3** Side Boundary (East)
- 4** Rear Boundary
- [Light Pole Icon]** Proposed Light Pole Location

Lot 241 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 241. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage / House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall and stairs as shown on plan.
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	23.67 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.55 metres from the Principal Boundary, for a length of 8.0 metres measured from the Side Setback Line within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot. A portion of one (1) of the Side Setback Lines (either East or West) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot. A portion of one (1) of the Side Setback Lines (either East or West) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured 1.0 metre from the Side Boundary (both East and West) as shown on the Plan.
g.	BTL Percentage	80% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Setback	
i.	Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Gatehouse, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach beyond the Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West)
d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack.
10.	Attached Fencing and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (East)	Open Outlook. <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (West)	Restricted Outlook <ul style="list-style-type: none"> Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

- C** Cottage Type
- H** House Type
- (SDR)** Specific Design Requirements (refer to Operative Provision No.12)
- Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- 23.67 Datum and Pad Level (refer Operative Provision No. 5)
- ϕ 21.25 Spot Levels
- Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Entry Steps
- Indicative Retaining Wall Locations
- Retaining Wall Type 2
- No Vehicular Access
- Indicative Services Area
- 1** Principal Boundary
- 2** Side Boundary (West)
- 3** Side Boundary (East)
- 4** Rear Boundary
- ✦ Proposed Light Pole Location



Lot 242 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 242. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

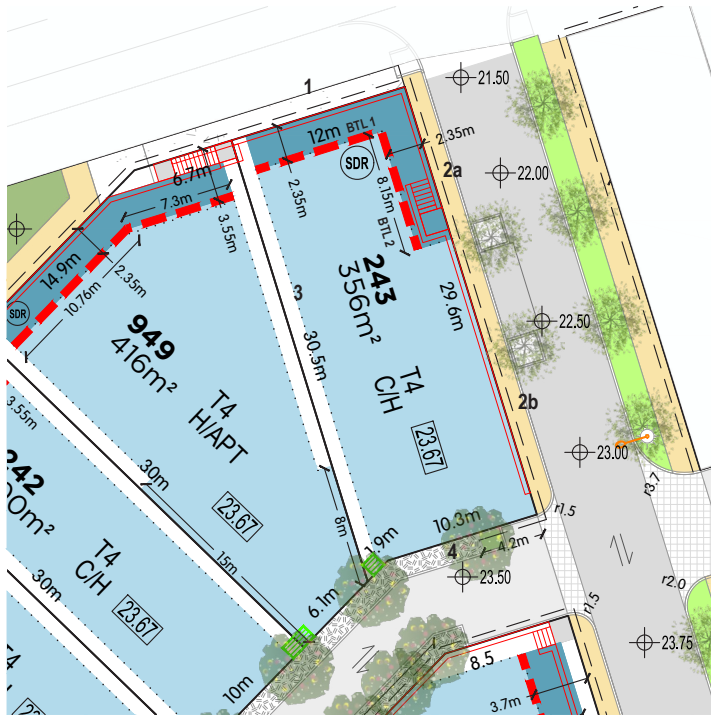
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall and stairs as shown on plan.
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	23.67 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.55 metres from the Principal Boundary, for a length of 8.0 metres measured from the Side Setback Line within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot. A portion of one (1) of the Side Setback Lines (either East or West) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot. A portion of one (1) of the Side Setback Lines (either East or West) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured 1.0 metre from the Side Boundary (both East and West) as shown on the Plan.
g.	BTL Percentage	80% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Setback	
i.	Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Gatehouse, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach beyond the Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West)
d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack.
10.	Attached Fencing and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (East)	Open Outlook. <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (West)	Restricted Outlook <ul style="list-style-type: none"> Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

- c** Cottage Type
- H** House Type
- (SDR)** Specific Design Requirements (refer to Operative Provision No.12)
- [Blue Shaded Area]** Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- [Red Dashed Line]** Build-to-line (BTL) (refer to Operative Provision No. 6)
- [23.67]** Datum and Pad Level (refer Operative Provision No. 5)
- ⊕ 23.50** Spot Levels
- [Blue Shaded Area]** Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- [Red Hatched Area]** Entry Steps
- [Red Line]** Indicative Retaining Wall Locations
- [Grey Line]** No Vehicular Access
- [Green Hatched Area]** Indicative Services Area
- 1** Principal Boundary
- 2a + 2b** Secondary Boundary
- 3** Side Boundary (West)
- 4** Rear Boundary
- [Orange Arrow]** Proposed Light Pole Location

Lot 243 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 243. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

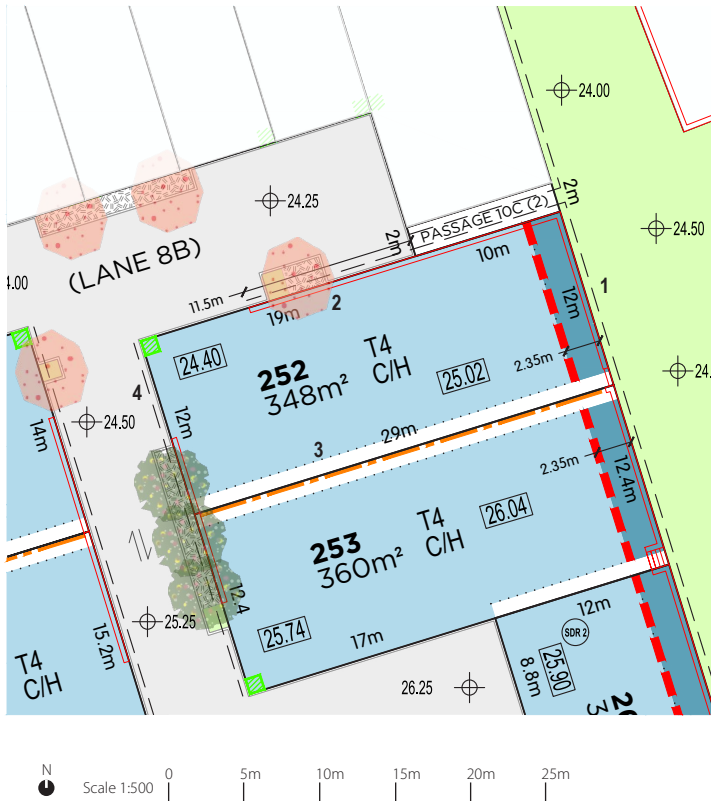
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall and stairs as shown on plan.
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	23.67 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary, for a length of 8.65 metres measured from the Secondary Setback Line within the Lot.
b.	Secondary Setback Line	2a) is parallel to and located 2.35 metres from the Secondary Boundary within the Lot for a distance of 8.15 metres measured from the Principal Setback Line. 2b) is located on the Secondary Boundary for a distance of 19.1 metres measured from the Rear Boundary.
c.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot. A portion of the Side Setback Line (West) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL 1) is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 8.65 metres, measured from the Side Setback Line (West) as shown on the Plan. BTL 2) is parallel to and located 2.35 metres from the Secondary Boundary 2a for a distance of 8.15 metres measured from the Principal Setback Line.
g.	BTL Percentage	BTL 1) 100% and BTL 2) 50% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Setback	
i.	Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Gatehouse, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	2a) Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. Encroachment is permitted to extend over the entry stairs and bottom landing. 2b) N/A
ii.	Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	2a) 2.35 metres measured from the Secondary Setback Line. 2b) NA
c.	Encroachments into Side Setback (West)	
i.	Permitted Encroachments into Side Setback	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach beyond the Rear Setback	N/A

ITEM	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Verandah, a Double Return Verandah.
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (West), a portion of the Rear Boundary as depicted on the Plan.
d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack.
10.	Attached Fencing and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation (West)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes - Corner Treatment or Double Verandah
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

- C** Cottage Type
- H** House Type
- (SDR)** Specific Design Requirements (refer to Operative Provision No.12)
- [Blue Box]** Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- [Red Dashed Line]** Build-to-line (BTL) (refer to Operative Provision No. 6)
- [25.02]** Datum and Pad Level (refer Operative Provision No. 5)
- ⊕24.50** Spot Levels
- [Blue Box]** Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- [Red Hatched Box]** Entry Steps
- [Red Line]** Indicative Retaining Wall Locations
- [Orange Line]** Retaining Wall Type 2
- [Grey Line]** No Vehicular Access
- [Green Hatched Box]** Indicative Services Area
- 1** Principal Boundary
- 2** Secondary Boundary
- 3** Side Boundary (South)
- 4** Rear Boundary
- [Light Pole]** Proposed Light Pole Location

Lot 252 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 252. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

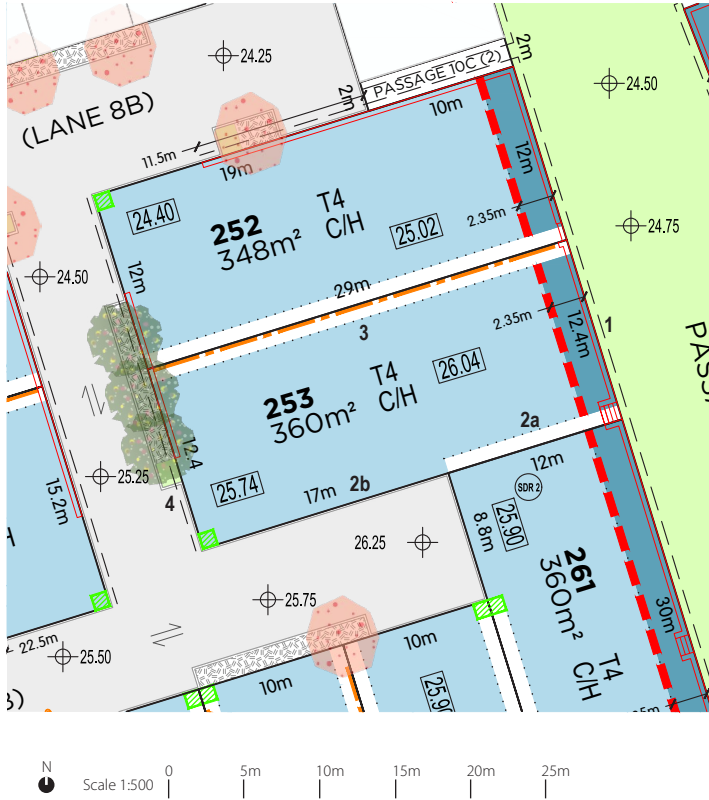
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	As determined by the extent of development provisions contained in the LDP.
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard and Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	24.40/ 25.02 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary, for a length of 11.0 metres measured from the Secondary Boundary within the Lot.
b.	Secondary Setback Line	Is parallel to and located on the the Secondary Boundary within the Lot.
c.	Side Setback Line (North)	N/A
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 11 metres, measured from the Secondary Boundary.
g.	BTL Percentage	90% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Setback	
i.	Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, a Return Verandah, a Double Return Verandah.
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, a portion of the Secondary Boundary, Side Boundary (South) and Rear Boundary.
d.	Permitted Garage Disposition	Rear Direct, Rear Back Court.

ITEM	DESCRIPTION	REQUIREMENT
10.	Attached and Sideyard Walling	
a.	Type of Walling required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation (North)	N/A
vi.	Side Elevation (South)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	No
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

- C** Cottage Type
- H** House Type
- (SDR)** Specific Design Requirements (refer to Operative Provision No.12)
- Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- 26.13 Datum and Pad Level (refer Operative Provision No. 5)
- ⊕ 25.25 Spot Levels
- Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Entry Steps
- Indicative Retaining Wall Locations
- Retaining Wall Type 2
- No Vehicular Access
- Indicative Services Area
- 1** Principal Boundary
- 2a + 2b** Side Boundary (South)
- 3** Side Boundary (North)
- 4** Rear Boundary
- Proposed Light Pole Location

Lot 253 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 253. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

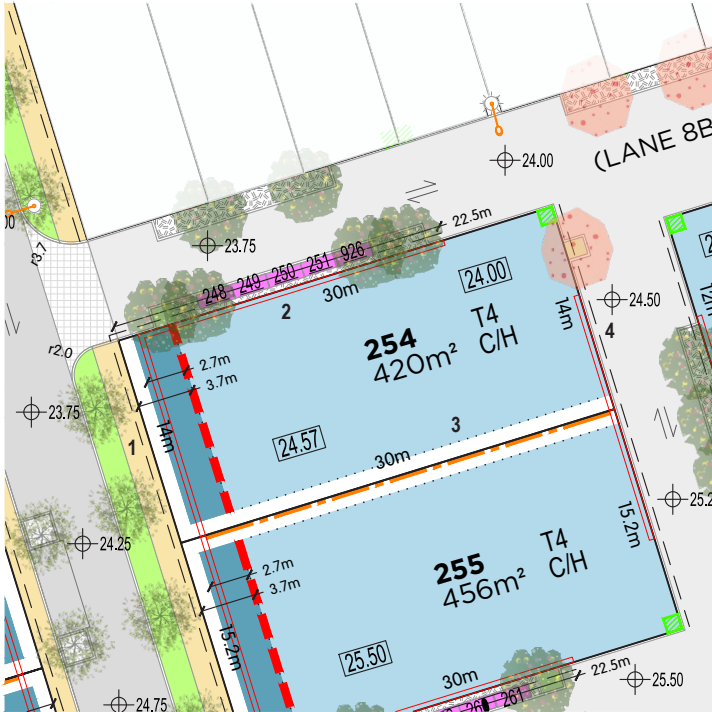
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	As determined by the extent of development provisions contained in the LDP.
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard and Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	25.74/ 26.04 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary, for a length of 10.4 metres measured from the Side Setback Line within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	2a) is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot, and 2b) is parallel to and located on the Side Boundary (South), for a length of 17 metres measured from the Rear Boundary, within the Lot as shown on the Plan.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is located on the Principal Setback Line for a distance of 10.4 metres measured from the Side Boundary (both North and South) as shown on the Plan.
g.	BTL Percentage	90% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Setback	
i.	Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element
ii.	Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, a Return Verandah, a Double Return Verandah

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North), Rear Boundary.
d.	Permitted Garage Disposition	Rear Direct , Rear Back Court.
10.	Attached and Sideyard Walling	
a.	Type of Walling required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (North)	Open Outlook. <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (South)	2a) Restricted Outlook <ul style="list-style-type: none"> Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass. 2b) N/A
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	No
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by JIndee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

- C** Cottage Type
- H** House Type
- Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- 24.00 Datum and Pad Level (refer Operative Provision No. 5)
- ϕ 23.75 Spot Levels
- Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Entry Steps
- Indicative Retaining Wall Locations
- Retaining Wall Type 2
- No Vehicular Access
- Indicative Services Area
- 1** Principal Boundary
- 2** Secondary Boundary
- 3** Side Boundary (South)
- 4** Rear Boundary
- ★ Proposed Light Pole Location



Lot 254 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 254. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

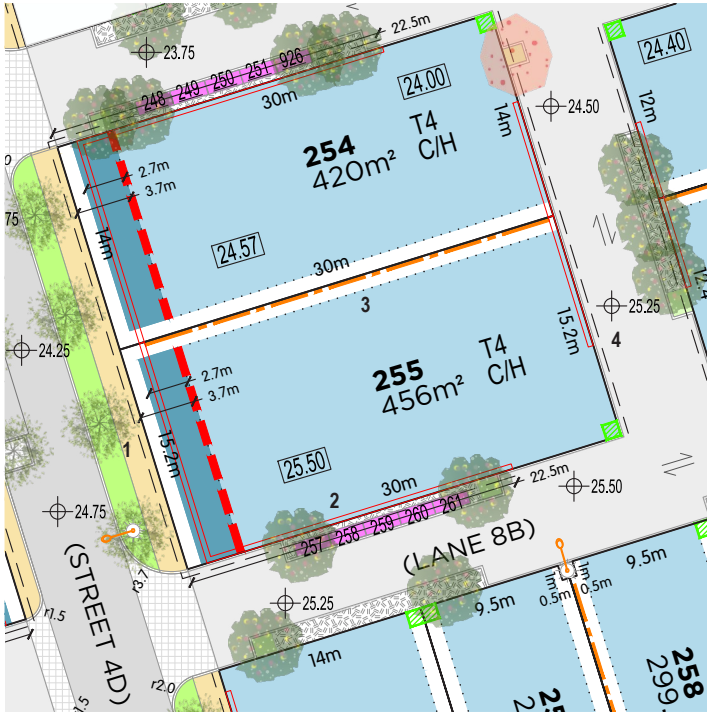
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Corner Lot
d.	Permitted Building Dispositions	Edgeyard and Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	24.57/ 24.00 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.7 metres from the Principal Boundary, for a length of 13.0 metres measured from the Secondary Boundary within the Lot.
b.	Secondary Setback Line	Is parallel to and located on the Secondary Boundary within the Lot.
c.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
d.	Side Setback Line	N/A
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is located on the Principal Setback Line for a distance of 13 metres measured from the Secondary Boundary.
g.	BTL Percentage	80% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Setback	
i.	Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.7 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, a portion of the Secondary Boundary as depicted on the Plan, Side Boundary (South), Rear Boundary
d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack, Rear Back Court.
10.	Attached and Sideyard Walling	
a.	Type of Walling required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation (South)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	No
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by JIndee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

- C** Cottage Type
- H** House Type
- Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- 25.50 Datum and Pad Level (refer Operative Provision No. 5)
- $\oplus 25.50$ Spot Levels
- Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Entry Steps
- Indicative Retaining Wall Locations
- Retaining Wall Type 2
- No Vehicular Access
- Indicative Services Area
- 1** Principal Boundary
- 2** Secondary Boundary
- 3** Side Boundary (North)
- 4** Rear Boundary
- ✦ Proposed Light Pole Location

Lot 255 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 255. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard and Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	25.50 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.7 metres from the Principal Boundary, for a length of 14.2 metres measured from the Secondary Boundary within the Lot.
b.	Secondary Setback Line	Is parallel to and located on the Secondary Boundary within the Lot.
c.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	N/A
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is located on the Principal Setback Line for a distance of 14.2 metres measured from the Secondary Boundary.
g.	BTL Percentage	80% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Setback	
i.	Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.7 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (North)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, a portion of the Secondary Boundary as depicted on the Plan, Side Boundary (North), Rear Boundary
d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack, Rear Back Court.
10.	Attached and Sideyard Walling	
a.	Type of Walling required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation (North)	Open Outlook. <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	No
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jndee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

- C** Cottage Type
- H** House Type
- (SDR)** Specific Design Requirements (refer to Operative Provision No.12)
- Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- 25.36 Datum and Pad Level (refer Operative Provision No. 5)
- ϕ 25.25 Spot Levels
- Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Entry Steps
- Indicative Retaining Wall Locations
- Retaining Wall Type 2
- No Vehicular Access
- Indicative Services Area
- 1** Principal Boundary
- 2a+2b** Secondary Boundary
- 3** Side Boundary
- 4** Rear Boundary
- * Proposed Light Pole Location

Lot 256 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 256. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

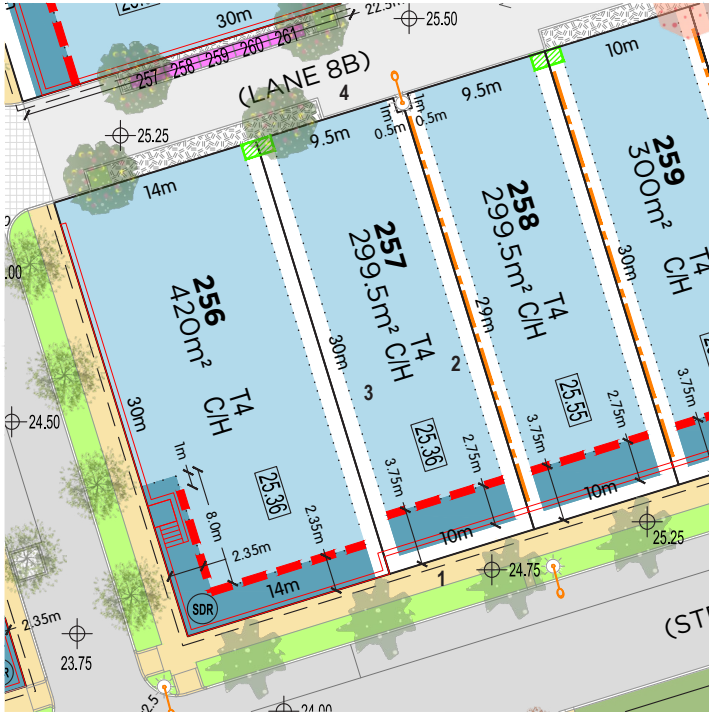
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard and Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	25.36 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary, for a length of 10.65 metres measured from the Secondary Setback Line within the Lot.
b.	Secondary Setback Line (West)	2a) is parallel to and located 2.35 metres from the Secondary Boundary within the Lot for a length of 7.0 metres measured from the Principal Setback Line; and 2b) is parallel to and located on the Secondary Boundary within the Lot for a distance of 19.65 metres measured from the Rear Boundary.
c.	Side Setback Line (West)	N/A
d.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Setback Line (East) within the Lot. A portion of Side Setback Line (East) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. BTL 1) is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 10.65 metres, measured from the Secondary Setback Line (West) as shown on the Plan. BTL 2) is parallel to and located 2.35 metres from the Secondary Boundary 2a for a distance of 7.0 metres measured from the Principal Setback Line.
g.	BTL Percentage	BTL 1) 80% minimum and BTL 2) 100%
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Setback	
i.	Permitted Encroachments beyond the Principal Setback	Verandahs, Pergola, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	2a) Verandahs, Pergola, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. Encroachment is permitted to extend over the entry stairs and bottom landing. 2b) N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	2a) 2.35 metres measured from the Secondary Setback Line. 2b) N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (East)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A

ITEM	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah.
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (East).
d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack.
10.	Attached and Sideyard Walling	
a.	Type of Walling required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation (East)	Open Outlook. <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes - A Double Verandah
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

- C** Cottage Type
- H** House Type
- (SDR)** Specific Design Requirements (refer to Operative Provision No.12)
- Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- 25.36 Datum and Pad Level (refer Operative Provision No. 5)
- ϕ 24.75 Spot Levels
- Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Entry Steps
- Indicative Retaining Wall Locations
- Retaining Wall Type 2
- No Vehicular Access
- Indicative Services Area
- 1** Principal Boundary
- 2** Side Boundary (East)
- 3** Side Boundary (West)
- 4** Rear Boundary
- ✦ Proposed Light Pole Location

Lot 257 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 257. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

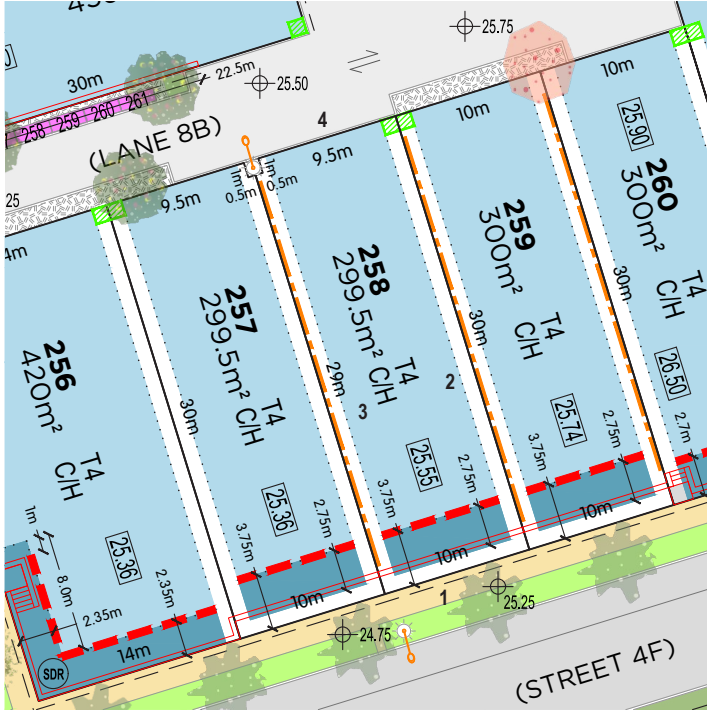
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard and Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Terrace with a Pergola.
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	25.36 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.75 metres from the Principal Boundary for a length of 8.0 metres measured from the Side Setback Line within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot. A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot. A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is located on the Principal Setback Line for a distance of 8.0 metres measured from the Side Boundary (East or West)
g.	BTL Percentage	80% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Setback	
i.	Permitted Encroachments beyond the Principal Setback	Terrace with a Pergola, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.75 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Terrace with a Pergola
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West).
d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack.
10.	Attached and Sideyard Walling	
a.	Type of Walling required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (East)	Open Outlook. <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (West)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	No
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes as per ILP
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

- C** Cottage Type
- H** House Type
- (SDR)** Specific Design Requirements (refer to Operative Provision No.12)
- Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- 25.55 Datum and Pad Level (refer Operative Provision No. 5)
- ϕ 25.25 Spot Levels
- Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Entry Steps
- Indicative Retaining Wall Locations
- Retaining Wall Type 2
- No Vehicular Access
- Indicative Services Area
- 1** Principal Boundary
- 2** Side Boundary (East)
- 3** Side Boundary (West)
- 4** Rear Boundary
- ✂ Proposed Light Pole Location

Lot 258 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 258. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

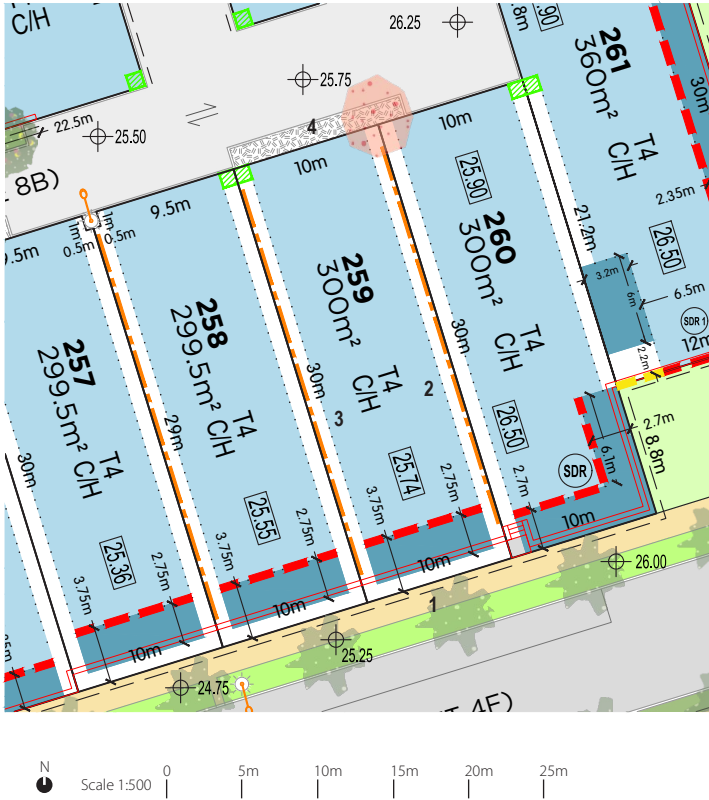
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard and Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Terrace with a Pergola.
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	25.55 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.75 metres from the Principal Boundary, for a length of 8.0 metres measured from the Side Setback Line within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot. A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot. A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is located on the Principal Setback Line for a distance of 8.0 metres measured from the Side Boundary (East or West)
g.	BTL Percentage	80% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Setback	
i.	Permitted Encroachments beyond the Principal Setback	Terrace with a Pergola, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.75 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Terrace with a Pergola
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West).
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached and Sideyard Walling	
a.	Type of Walling required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (East)	Open Outlook. <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (West)	Restricted Outlook <ul style="list-style-type: none"> Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	No
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes as per ILP.
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by JIndee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

- C** Cottage Type
- H** House Type
- (SDR)** Specific Design Requirements (refer to Operative Provision No.12)
- Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- 25.74 Datum and Pad Level (refer Operative Provision No. 5)
- ⊕25.75 Spot Levels
- Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Entry Steps
- Indicative Retaining Wall Locations
- Retaining Wall Type 2
- No Vehicular Access
- Indicative Services Area
- 1** Principal Boundary
- 2** Side Boundary (East)
- 3** Side Boundary (West)
- 4** Rear Boundary
- ✂ Proposed Light Pole Location

Lot 259 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 259. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

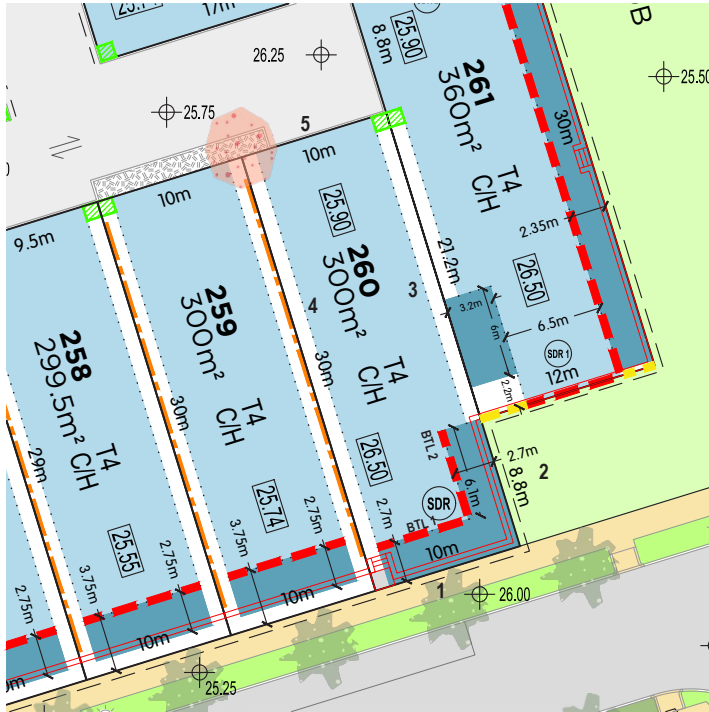
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Terrace with a Pergola.
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	25.74 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.75 metres from the Principal Boundary, for a length of 8.0 metres measured from the Side Setback Line within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot. A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot. A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is located on the Principal Setback Line for a distance of 8.0 metres measured from the Side Boundary (East or West)
g.	BTL Percentage	80% minimum
h.	Required Parapet Wall Location	N/A
7	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Setback	
i.	Permitted Encroachments beyond the Principal Setback	Terrace with a Pergola, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.75 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Terrace with a Pergola
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah.

ITEM	DESCRIPTION	REQUIREMENT
9	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West).
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack.
10	Attached and Sideyard Walling	
a.	Type of Walling required	N/A
11	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (East)	Open Outlook. <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (West)	Restricted Outlook <ul style="list-style-type: none"> Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes as per ILP.
14	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15	External Fixtures	Refer - Private Realm Operative Provisions
16	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18	No modification of building elements provided by JIndee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

- C** Cottage Type
- H** House Type
- (SDR)** Specific Design Requirements (refer to Operative Provision No.12)
- Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- Required Sideyard Wall (refer to Operative Provision No. 10)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- 26.15 Datum and Pad Level (refer Operative Provision No. 5)
- ϕ 26.00 Spot Levels
- Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Entry Steps
- Indicative Retaining Wall Locations
- Retaining Wall Type 2
- No Vehicular Access
- Indicative Services Area
- 1** Principal Boundary
- 2** Secondary Boundary
- 3** Side Boundary (East)
- 4** Side Boundary (West)
- 5** Rear Boundary

Lot 260 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 260. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

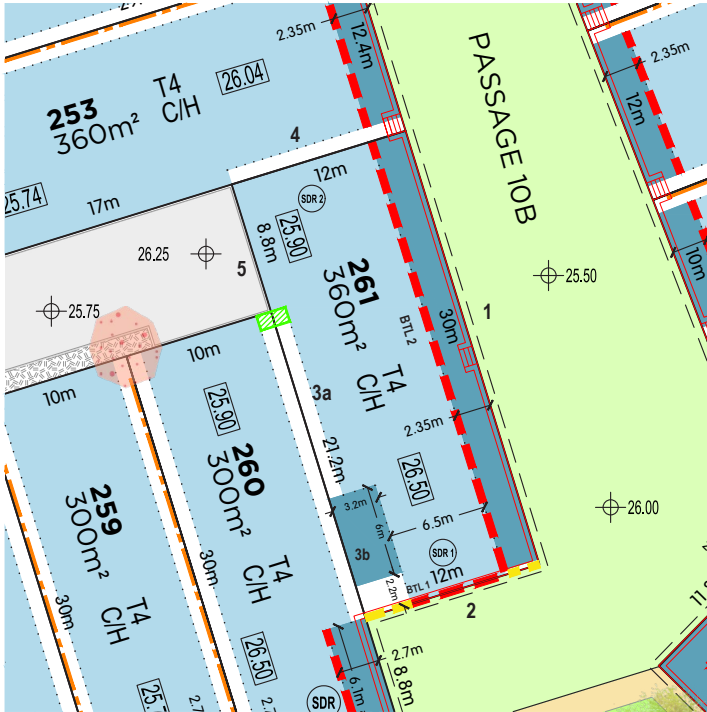
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Corner Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	25.90 AHD/ 26.10 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.7 metres from the Principal Boundary, for a length of 6.3 metres measured from the Secondary Setback Line within the Lot.
b.	Secondary Setback Line	Is parallel to and located 2.7 metres from the Secondary Boundary, for a length of 6.1 metres measured from the Principal Setback Line within the Lot.
c.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot. A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot. A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL 1) is parallel to and located 2.7 metres from the Principal Boundary within the Lot for a length of 6.3 metres, measured from the Side Setback Line (West) as shown on the Plan. BTL 2) is parallel to and located 2.7 metres from the Secondary Boundary for a distance of 6.1 metres measured from the Principal Setback Line.
g.	BTL Percentage	BTL 1) 95% minimum and BTL 2) 100%
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Pergola, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.7 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	Verandahs, Pergola, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.7 metres measured from the Secondary Setback Line.
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House- 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (East and West)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached Fencing and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (East)	Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (West)	Restricted Outlook <ul style="list-style-type: none"> Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes - Corner Treatment or Double Verandah
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes as per ILP.
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

- C** Cottage Type
- H** House Type
- (SDR)** Specific Design Requirements (refer to Operative Provision No.12)
- Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- Required Sideyard Wall (refer to Operative Provision No. 10)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- 26.25 Datum and Pad Level (refer Operative Provision No. 5)
- ϕ 26.25 Spot Levels
- Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Entry Steps
- Indicative Retaining Wall Locations
- Retaining Wall Type 2
- No Vehicular Access
- Indicative Services Area
- 1** Principal Boundary
- 2** Secondary Boundary
- 3** Side Boundary (West)
- 4** Side Boundary (North)
- 5** Rear Boundary

Lot 261 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 261. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

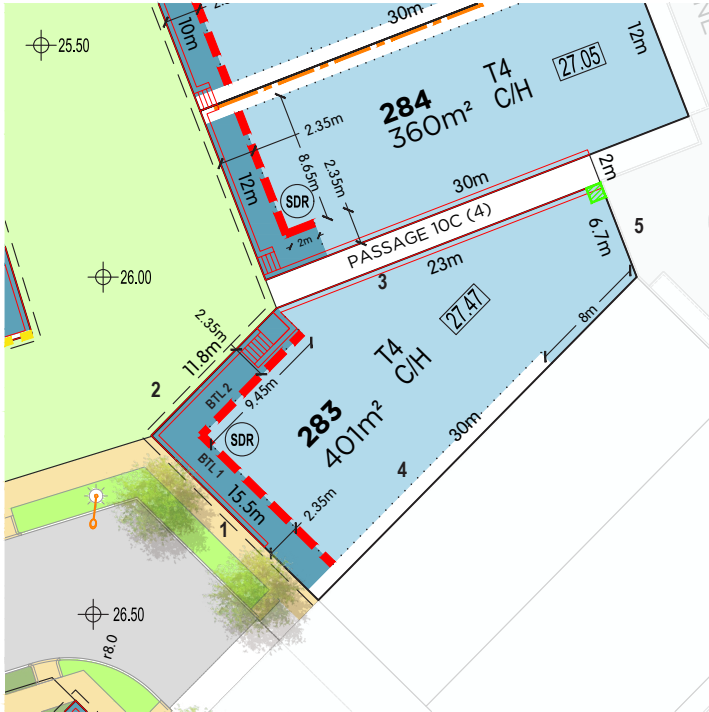
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Sideyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall and stairs as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	25.90 AHD/ 26.50 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary, for a length of 30.0 metres measured from the Secondary Boundary within the Lot.
b.	Secondary Setback Line (South)	Is parallel to and located on the Secondary Boundary (South), for a length of 6.5 metres measured from the Principal Setback Line within the Lot.
c.	Side Setback Line (North)	Is parallel to the Side Boundary (North) within the Lot.
d.	Side Setback Line (West)	3a) is parallel to and located 1.0 metre from the Side Boundary (West) for a length of 13 metres measured from the Rear Boundary, within the Lot. 3b) is parallel to and located 3.2 metres from the Side Boundary (West) for a length of 8.2 metres measured from the Principal Boundary, within the Lot. A portion of the Side Setback Line (3a) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL 1) is parallel to and located on the Secondary Boundary within the Lot for a length of 6.5 metres, measured from the Principal Setback Line as shown on the Plan. BTL 2) is parallel to and located 2.35 metres from the Principal Boundary for a distance of 30 metres measured from the Secondary Boundary.
g.	BTL Percentage	BTL 1) 95% minimum and BTL 2) 95%
h.	Required Parapet Wall Location	N/A
7	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Projecting Fronts, Balconies, Eaves, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (North)	N/A
d.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (West)	Eaves, Shade Devices and Attached Fences.
e.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
8	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (North and West)
d.	Permitted Garage Disposition	Rear Direct, Rear Back Court.
10	Attached Fence and Sideyard Walling	
a.	Type required	Sideyard Walls
11	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation (North)	Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (West)	Restricted Outlook <ul style="list-style-type: none"> Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes -Two required (mandated) SDR's. SDR 1) Is mandated being a Gable End. SDR 2) Is mandated being a Gable End to the same width and height as SDR 1. On Lot 261 each Projecting Front is required to have a minimum width of 4.0 metres, and not exceed 6.0 metres. Each Projecting Front is required to be setback a minimum of 3.0 metres, and not exceed 4.0 metres from each end of the Principal Elevation with a Gable End that is the same for each projection. The width, height and setback of each Projecting Front are required to mirror each other.
13	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes as per ILP.
14	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15	External Fixtures	Refer - Private Realm Operative Provisions
16	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

- C** Cottage Type
- H** House Type
- (SDR)** Specific Design Requirements (refer to Operative Provision No.12)
- [Blue Area]** Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- [Red Dashed Line]** Build-to-line (BTL) (refer to Operative Provision No. 6)
- [27.47]** Datum and Pad Level (refer Operative Provision No. 5)
- ±26.00** Spot Levels
- [Blue Shaded Area]** Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- [Red Hatched Area]** Entry Steps
- [Red Line]** Indicative Retaining Wall Locations
- [Orange Dashed Line]** Retaining Wall Type 2
- [Grey Line]** No Vehicular Access
- [Green Hatched Area]** Indicative Services Area
- 1** Principal Boundary
- 2** Secondary Boundary
- 3** Side Boundary (North)
- 4** Side Boundary (South)
- 5** Rear Boundary
- [Light Pole Icon]** Proposed Light Pole Location

Lot 283 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 283. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

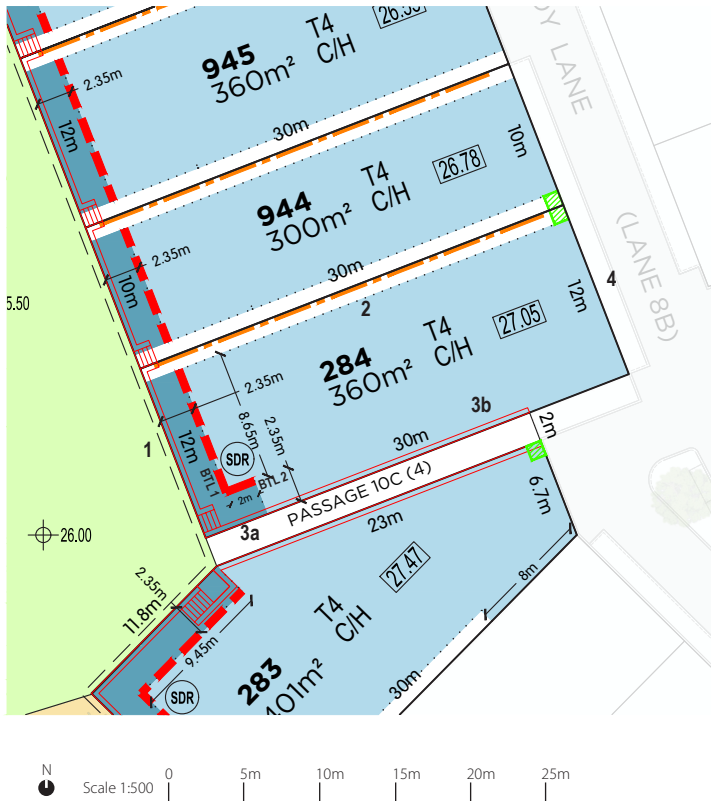
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Type	Cottage, House
c.	Lot Type Designation	Corner Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall and stairs as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	24.47 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary, for a length of 12.15 metres measured from the Secondary Setback Line within the Lot.
b.	Secondary Setback Line	Is parallel to and located 2.35 metres from the Secondary Boundary, for a length of 9.45 metres measured from the Principal Setback Line within the Lot.
c.	Side Setback Line (North)	Is parallel to and located on the Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot. A portion of the Side Setback Line (South) may be located on the relevant Side Boundary, for a distance of up to 8.0 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL 1) is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 12.65 metres, measured from the Side Setback Line (South) as shown on the Plan. BTL 2) is parallel to and located 2.35 metres from the Secondary Boundary for a distance of 9.45 metres measured from the Principal Setback Line.
g.	BTL Percentage	BTL 1) 80% minimum and BTL 2) 100%.
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Pergola, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	Verandahs, Pergola, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	2.35 metres measured from the Secondary Setback Line.
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (North)	N/A
d.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (South)	Eaves, Shade Devices and Attached Fences.
e.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A

ITEM	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Double Return Verandah, a Return Verandah, a Projecting Front and a Return Verandah.
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (North and South).
d.	Required Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached Fence and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation (North)	Nil
vi.	Side Elevation (South)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes - Corner Treatment For Lot 283, the receding portion of the permitted principal building elevation type is not contained within the Principal Building Envelope, and is located within the Encroachment Zone.
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes as per LDP 9.
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

- C** Cottage Type
- H** House Type
- (SDR)** Specific Design Requirements (refer to Operative Provision No.12)
- [Blue Shaded Area]** Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- [Red Dashed Line]** Build-to-line (BTL) (refer to Operative Provision No. 6)
- [27.05]** Datum and Pad Level (refer Operative Provision No. 5)
- ±26.00** Spot Levels
- [Blue Shaded Area]** Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- [Red Hatched Area]** Entry Steps
- [Red Dotted Line]** Indicative Retaining Wall Locations
- [Orange Dashed Line]** Retaining Wall Type 2
- [Grey Line]** No Vehicular Access
- [Green Hatched Area]** Indicative Services Area
- 1** Principal Boundary
- 2** Side Boundary (North)
- 3a + 3b** Side Boundary (South)
- 4** Rear Boundary
- [Orange Arrow]** Proposed Light Pole Location

Lot 284 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 284. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

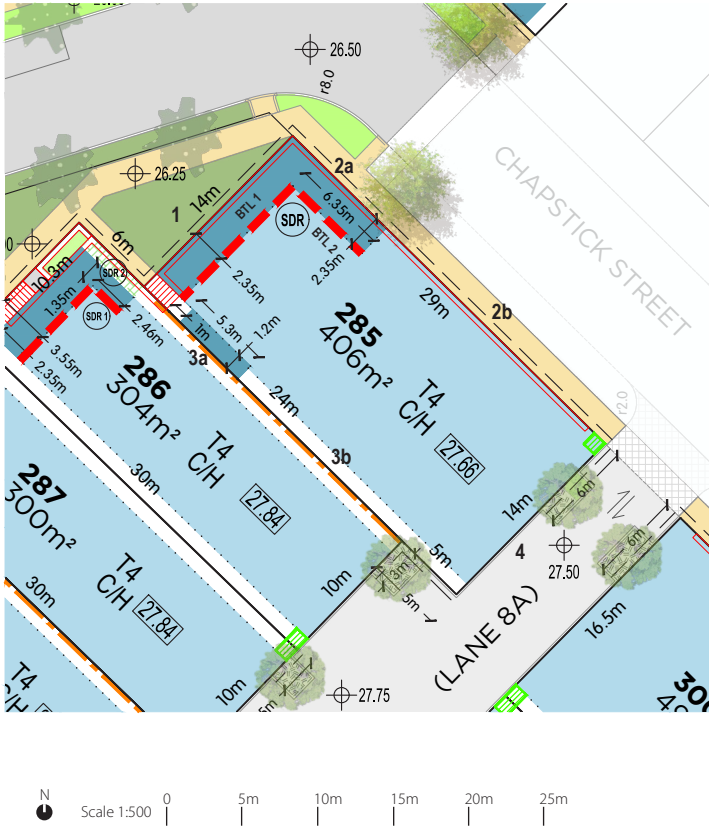
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage / House
c.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft.
b.	Maximum Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	27.05 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary, for a length of 8.65 metres measured from the Side Setback Line (North) within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot. A portion of one (1) of the Side Setback Lines (North) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (South)	3a) is parallel to and located 2.35 metres from the Side Boundary (South) within the Lot, for a length of 2.0 metres measured from the Principal Setback Line, and 3b) is parallel to and located on the Side Boundary (South), within the Lot.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL 1) is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 8.65 metres, measured 1.0 metre from the Side Boundary (North) as shown on the Plan, and BTL 2) is parallel to and located 2.35 metres from the Side Boundary (South) within the Lot for a length of 2.0 metres measured from the Principal Setback Line.
g.	BTL Percentage	BTL 1) 95% minimum and BTL 2) 100%.
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Side Setback (North)	
i.	Permitted Encroachments into Side Setback (North)	Eaves, Shade Devices and Attached Fences.
c.	Encroachments into Side Setback (South)	
i.	Permitted Encroachments into Side Setback (South)	3a) Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element 3b) N/A
ii.	Extent to which Permitted Encroachments may encroach into the Side Setback	3a) 2.35 metres measured from the Side Setback Line. 3b) N/A
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A

ITEM	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, a Return Verandah, a Double Return Verandah.
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House- 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached Fence and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (North)	Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (South)	Nil
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes - Corner Treatment
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

- C** Cottage Type
- H** House Type
- (SDR)** Specific Design Requirements (refer to Operative Provision No.12)
- [Blue Shaded Area]** Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- [Red Dashed Line]** Build-to-line (BTL) (refer to Operative Provision No. 6)
- [27.66]** Datum and Pad Level (refer Operative Provision No. 5)
- ⊕ 27.50** Spot Levels
- [Blue Shaded Area]** Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- [Red Hatched Area]** Entry Steps
- [Red Dashed Line]** Indicative Retaining Wall Locations
- [Orange Dashed Line]** Retaining Wall Type 2
- [Grey Line]** No Vehicular Access
- [Green Hatched Area]** Indicative Services Area
- 1** Principal Boundary
- 2a + 2b** Secondary Boundary
- 3a + 3b** Side Boundary
- 4** Rear Boundary
- [Light Pole Symbol]** Proposed Light Pole Location

Lot 285 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 285. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

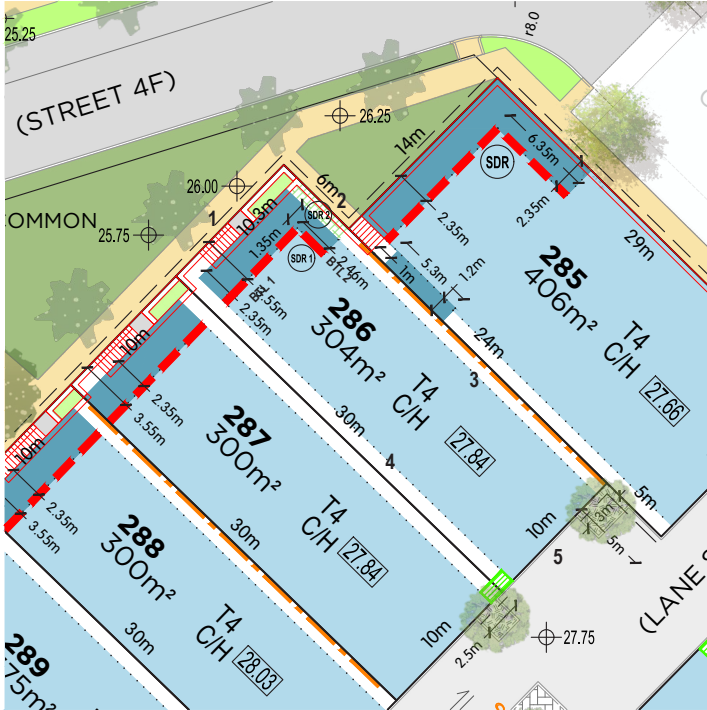
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Type	Cottage, House
c.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	27.66 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and 2.35 metres from the Principal Boundary, for a length of 10.45 metres measured from the Secondary Setback Line (2a) within the Lot.
b.	Secondary Setback Line	2a) is parallel to and located 2.35 metres from the Secondary Boundary within the Lot. 2b) is parallel to and located on the Secondary Boundary within the Lot.
c.	Side Setback Line (West)	3a) is parallel to and located 1.2 metres from the Side Boundary (West) within the Lot, for a length of 6.3 metres measured from the Principal Setback Line. 3b) is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot. A portion of the Side Setback Line (West) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line	N/A
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. BTL 1) is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 10.45 metres, measured from the Side Setback Line 3a (West) as shown on the Plan. BTL 2) is parallel to and located 2.35 metres from the Secondary Boundary 2a for a distance of 6.35 metres measured from the Principal Setback Line.
g.	BTL Percentage	BTL 1) 80% minimum and BTL 2) 100%
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback	2a) Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element. 2b) N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	2a) 2.35 metres measured from the Principal Setback Line. 2b) N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (West)	3a) Verandah, Portico, Gatehouse 3b) Eaves, Shade Devices and Attached Fences.
ii.	Extent to which Permitted Encroachments may encroach into the Side Setback (West)	3a) 1.2 metres measured from the Side Setback Line 3a for a length of 5.3m measured 1.0 metre from the Principal Setback Line. 3b) N/A
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A

ITEM	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Verandah, a Double Return Verandah and a Double Projecting Front.
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (West) and a portion of the Rear Boundary as depicted on the Plan.
d.	Required Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached Fencing and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation (North)	N/A
vi.	Side Elevation (West)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes - Terminating Vista (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR'), or Double Verandah.
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

- C** Cottage Type
- H** House Type
- (SDR)** Specific Design Requirements (refer to Operative Provision No.12)
- Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- 27.84 Datum and Pad Level (refer Operative Provision No. 5)
- ϕ 27.75 Spot Levels
- Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Special Design Response - Private Landscaping
- Entry Steps
- Indicative Retaining Wall Locations
- Retaining Wall Type 2
- No Vehicular Access
- Indicative Services Area
- 1** Principal Boundary
- 2** Secondary Boundary
- 3** Side Boundary (East)
- 4** Side Boundary (West)
- 5** Rear Boundary
- Proposed Light Pole Location

Lot 286 forms part of the Stage 1 Local Development Plan (LDP) Area. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 286. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

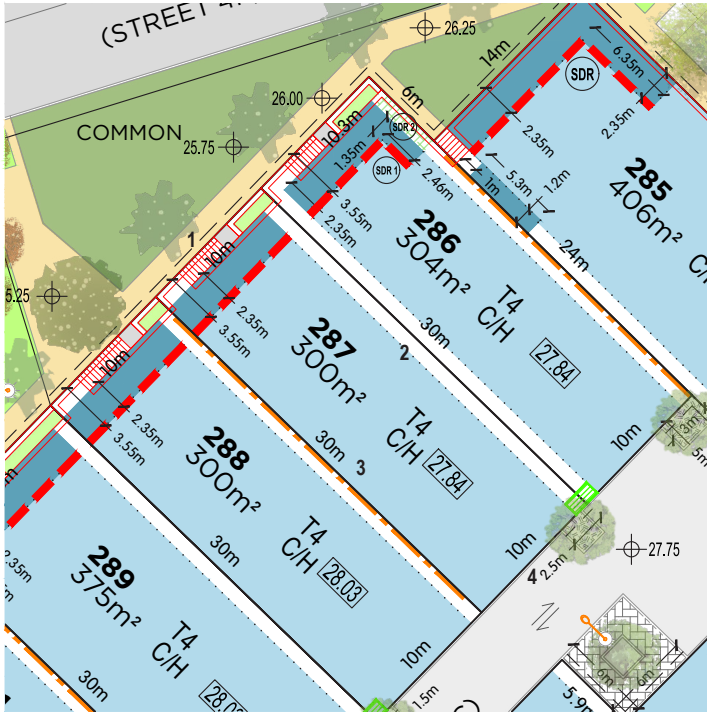
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Corner Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah, or a Terrace with a Pergola.
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	27.84 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.55 metres from the Principal Boundary, for a length of 6.95 metres measured from the Secondary Setback Line within the Lot.
b.	Secondary Setback Line	Is parallel to and located 2.35 metres from the Secondary Boundary within the Lot.
c.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot.
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot. A portion of the Side Setback Line (West) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. BTL 1) is parallel to and located 3.55 metres from the Principal Boundary within the Lot for a length of 6.95 metres, measured from the Side Setback Line (West) as shown on the Plan. BTL 2) is parallel to and located 2.35 metres from the Secondary Boundary within the Lot for a length of 2.46 metres measured from the Principal Setback Line.
g.	BTL Percentage	BTL1) 80% minimum and BTL 2) 100%
h.	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	1.35 metres measured from the Secondary Setback Line.
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (East and West)	Eaves, shade devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah or a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary and Side Boundary (East and West) and a portion of the rear boundary as depicted on the Plan.
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached Fencing and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation (East)	Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (West)	Restricted Outlook <p>Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:</p> <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes -Two required (mandated) SDR's. SDR 1) Corner Treatment (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR'). SDR 2) A 1.0m wide landscaping strip along the Secondary Boundary within the Lot.
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

- C** Cottage Type
- H** House Type
- (SDR)** Specific Design Requirements (refer to Operative Provision No.12)
- [Blue Area]** Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- [Red Dashed Line]** Build-to-line (BTL) (refer to Operative Provision No. 6)
- [27.84]** Datum and Pad Level (refer Operative Provision No. 5)
- ±27.75** Spot Levels
- [Blue Shaded Area]** Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- [Red Hatched Area]** Entry Steps
- [Red Line]** Indicative Retaining Wall Locations
- [Orange Line]** Retaining Wall Type 2
- [Grey Line]** No Vehicular Access
- [Green Hatched Area]** Indicative Services Area
- 1** Principal Boundary
- 2** Side Boundary (East)
- 3** Side Boundary (West)
- 4** Rear Boundary
- [Orange Arrow]** Proposed Light Pole Location

Lot 287 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 287. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

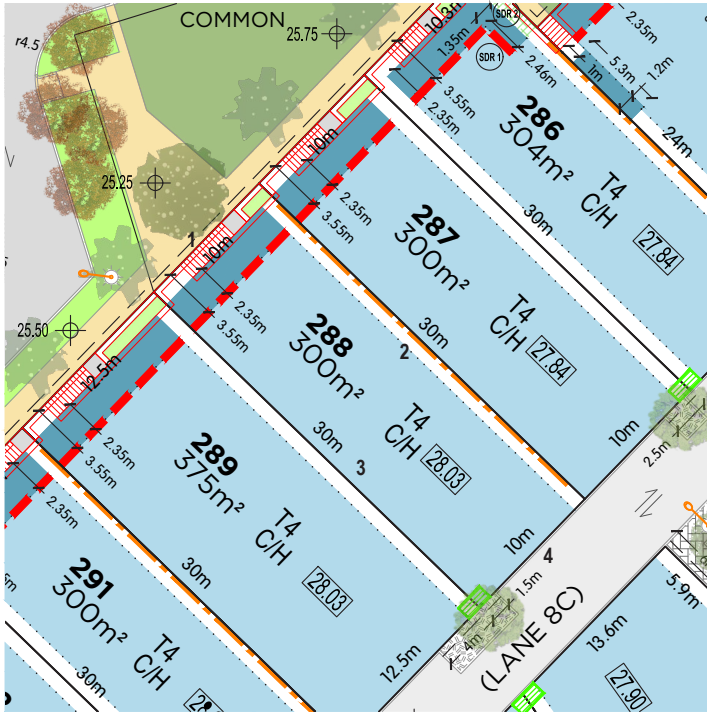
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft.
b.	Maximum External Wall Height	7.5 metre
c.	Lot Datum (from which Building Height is measured)	27.84 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.55 metres from the Principal Boundary, for a length of 9 metres measured from the Side Boundary (West) within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot.
d.	Side Setback Line (West)	Is parallel to and located on the Side Boundary (West) within the Lot.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot for a length of 9.0 metres, measured from the Side Boundary (West) as shown on the Plan.
g.	BTL Percentage	75% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Setback	
i.	Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (East)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach beyond the Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House- 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West) and a portion of the Rear Boundary as depicted on the Plan.
d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack.

ITEM	DESCRIPTION	REQUIREMENT
10.	Attached Fencing and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (East)	Open Outlook. <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (West)	Restricted Outlook <p>Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:</p> <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	No
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

- C** Cottage Type
- H** House Type
- (SDR)** Specific Design Requirements (refer to Operative Provision No.12)
- [Blue Area]** Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- [Red Dashed Line]** Build-to-line (BTL) (refer to Operative Provision No. 6)
- [28.03]** Datum and Pad Level (refer Operative Provision No. 5)
- ±25.50** Spot Levels
- [Blue Shaded Area]** Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- [Red Hatched Area]** Entry Steps
- [Red Line]** Indicative Retaining Wall Locations
- [Orange Line]** Retaining Wall Type 2
- [Grey Line]** No Vehicular Access
- [Green Hatched Area]** Indicative Services Area
- 1** Principal Boundary
- 2** Side Boundary (East)
- 3** Side Boundary (West)
- 4** Rear Boundary
- [Orange Arrow]** Proposed Light Pole Location

Lot 288 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 288. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft.
b.	Maximum External Wall Height	7.5 metre
c.	Lot Datum (from which Building Height is measured)	28.03 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.55 metres from the Principal Boundary, for a length of 9 metres measured from the Side Boundary (West) within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot.
d.	Side Setback Line (West)	Is parallel to and located on the Side Boundary (West) within the Lot.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot for a length of 9.0 metres, measured from the Side Boundary (West) as shown on the Plan.
g.	BTL Percentage	75% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Setback	
i.	Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (East)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach beyond the Rear Setback	N/A

ITEM	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House- 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West) and a portion of the Rear Boundary as depicted on the Plan.
d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack.
10.	Attached Fencing and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (East)	Open Outlook. <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (West)	Restricted Outlook <ul style="list-style-type: none"> Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

- C** Cottage Type
- H** House Type
- (SDR)** Specific Design Requirements (refer to Operative Provision No.12)
- [Blue Shaded Area]** Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- [Red Dashed Line]** Build-to-line (BTL) (refer to Operative Provision No. 6)
- [28.03]** Datum and Pad Level (refer Operative Provision No. 5)
- ±25.50** Spot Levels
- [Blue Shaded Area]** Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- [Red Hatched Area]** Entry Steps
- [Red Dotted Line]** Indicative Retaining Wall Locations
- [Orange Dashed Line]** Retaining Wall Type 2
- [Grey Line]** No Vehicular Access
- [Green Hatched Area]** Indicative Services Area
- 1** Principal Boundary
- 2** Side Boundary (East)
- 3** Side Boundary (West)
- 4** Rear Boundary
- [Light Pole Icon]** Proposed Light Pole Location

Lot 289 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 289. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

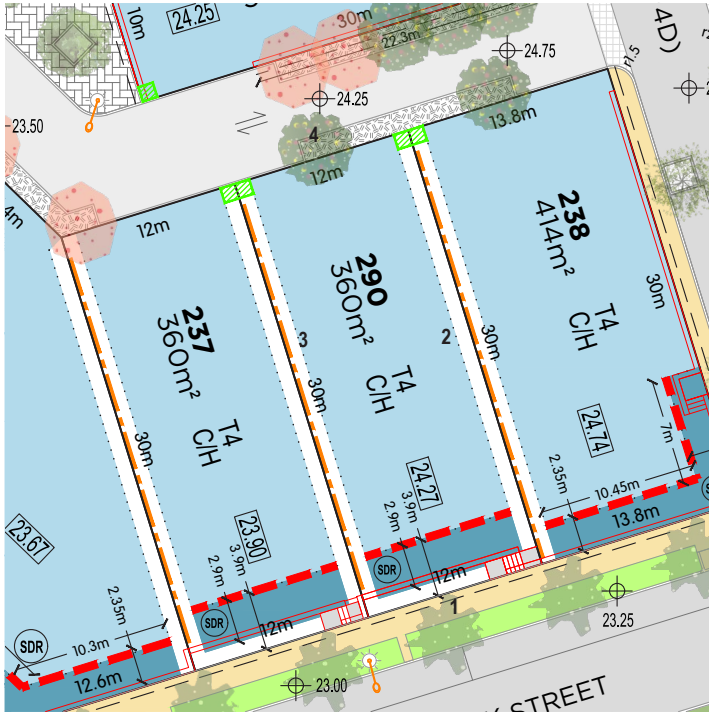
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall as shown on plan.
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	28.03 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.55 metres from the Principal Boundary, for a length of 11.5 metres measured from the Side Boundary (West) within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot.
d.	Side Setback Line (West)	Is parallel to and located on the Side Boundary (West) within the Lot.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot for a length of 11.5 metres, measured from the Side Boundary (West) as shown on the Plan.
g.	BTL Percentage	75% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Setback	
i.	Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (East)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach beyond the Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House- 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West) and a portion of the Rear Boundary as depicted on the Plan.
d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack.

ITEM	DESCRIPTION	REQUIREMENT
10.	Attached Fencing and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (East)	Open Outlook. <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (West)	Restricted Outlook <p>Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:</p> <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

- C** Cottage Type
- H** House Type
- (SDR)** Specific Design Requirements (refer to Operative Provision No.12)
- [Blue Area]** Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- [Red Dashed Line]** Build-to-line (BTL) (refer to Operative Provision No. 6)
- [24.27]** Datum and Pad Level (refer Operative Provision No. 5)
- ±24.25** Spot Levels
- [Blue Shaded Area]** Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- [Red Hatched Area]** Entry Steps
- [Red Line]** Indicative Retaining Wall Locations
- [Orange Line]** Retaining Wall Type 2
- [Grey Line]** No Vehicular Access
- [Green Hatched Area]** Indicative Services Area
- 1** Principal Boundary
- 2** Side Boundary (East)
- 3** Side Boundary (West)
- 4** Rear Boundary
- [Orange Arrow]** Proposed Light Pole Location

Lot 290 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 290. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

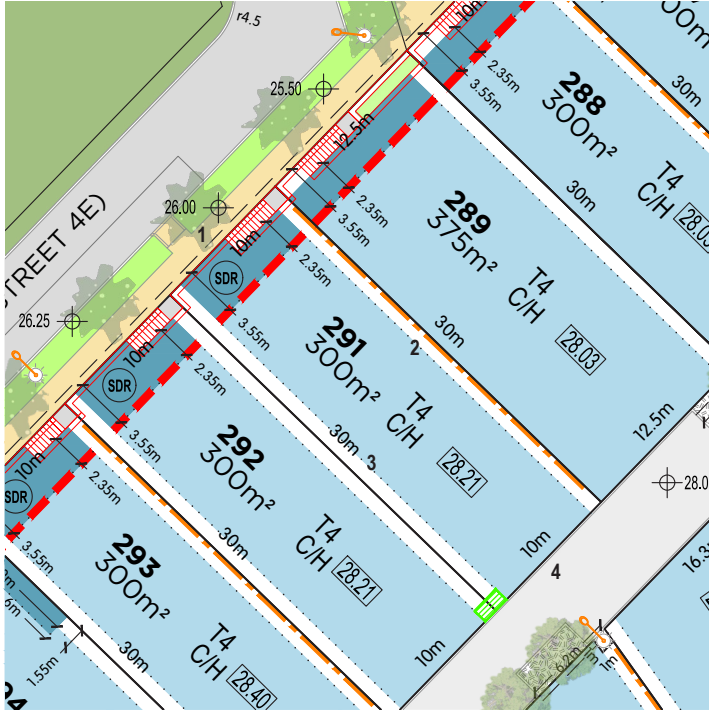
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	24.27 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary, for a length of 10 metres measured from the Side Setback Line within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot. A portion of one (1) of the Side Setback Lines (East or West) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot. A portion of one (1) of the Side Setback Lines (East or West) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot for a length of 10.0 metres, measured 1.0 metre from the Side Boundary (East or West) as shown on the Plan.
g.	BTL Percentage	80% minimum
h.	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.9 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Projecting Front, a Projecting Front and a Return Verandah, and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached Fence and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation (South)	N/A
v.	Side Elevation (East)	Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (West)	Restricted Outlook <ul style="list-style-type: none"> Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes - Projecting Front (location of Specific Design Requirement is depicted on the attached plan as a SDR)
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	No.
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

- C** Cottage Type
- H** House Type
- (SDR)** Specific Design Requirements (refer to Operative Provision No.12)
- [Blue Shaded Area]** Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- [Red Dashed Line]** Build-to-line (BTL) (refer to Operative Provision No. 6)
- [28.21]** Datum and Pad Level (refer Operative Provision No. 5)
- ±26.00** Spot Levels
- [Blue Shaded Area]** Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- [Red Hatched Area]** Entry Steps
- [Red Line]** Indicative Retaining Wall Locations
- [Orange Line]** Retaining Wall Type 2
- [Grey Line]** No Vehicular Access
- [Green Hatched Area]** Indicative Services Area
- 1** Principal Boundary
- 2** Side Boundary (East)
- 3** Side Boundary (West)
- 4** Rear Boundary
- [Orange Arrow]** Proposed Light Pole Location

Lot 291 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 291. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

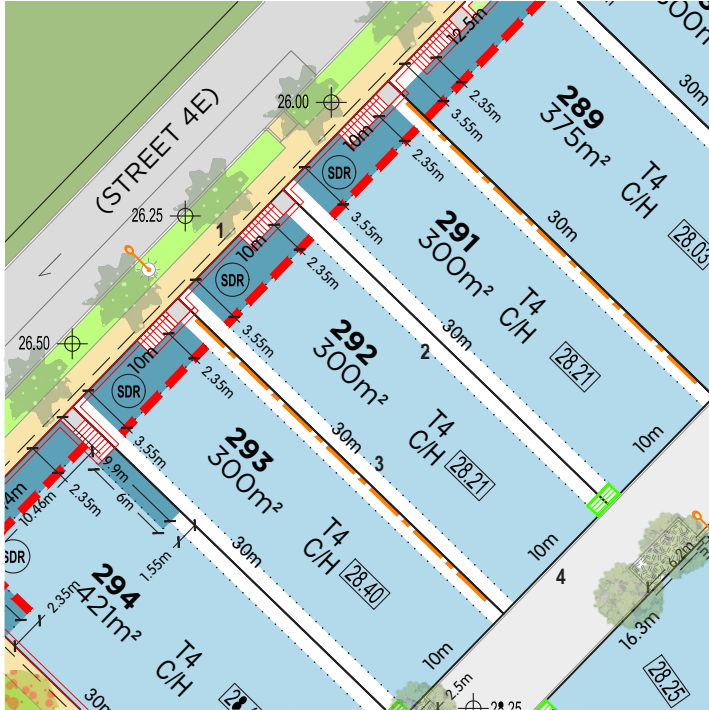
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. A Principal Boundary retaining wall and internal stair plinth as shown on plan.
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Terrace with a pergola
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	28.21AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.55 metres from the Principal Boundary, for a length of 8.0 metres measured from the Side Setback Line within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot. A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot. A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured 1.0 metre from the Side Boundary (both East and West) as shown on the Plan.
g.	BTL Percentage	80% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Setback	
i.	Permitted Encroachments beyond the Principal Setback	Eaves, Bay Windows, Pergola Balcony
ii.	Extent to which Permitted Encroachments may encroach beyond the Principal Setback	3.55 metres measured from the Principal Setback Line, within the Permitted Encroachment Zone as shown on the Plan.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach beyond the Rear Setback	N/A

ITEM	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House- 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West)
d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack.
10.	Attached Fencing and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (East)	Open Outlook. <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (West)	Restricted Outlook <ul style="list-style-type: none"> Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes - Gable End (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR').
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

- C** Cottage Type
- H** House Type
- (SDR)** Specific Design Requirements (refer to Operative Provision No.12)
- [Blue Area]** Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- [Red Dashed Line]** Build-to-line (BTL) (refer to Operative Provision No. 6)
- [28.21]** Datum and Pad Level (refer Operative Provision No. 5)
- ±26.25** Spot Levels
- [Blue Shaded Area]** Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- [Red Hatched Area]** Entry Steps
- [Red Line]** Indicative Retaining Wall Locations
- [Orange Line]** Retaining Wall Type 2
- [Grey Line]** No Vehicular Access
- [Green Hatched Area]** Indicative Services Area
- 1** Principal Boundary
- 2** Side Boundary (East)
- 3** Side Boundary (West)
- 4** Rear Boundary
- [Orange Arrow]** Proposed Light Pole Location

Lot 292 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 292. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

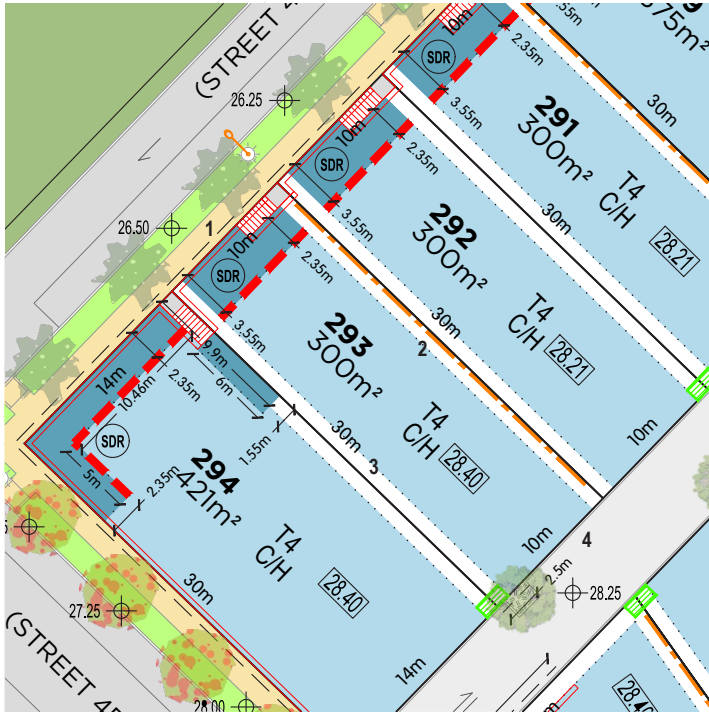
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. A Principal Boundary retaining wall and internal stair plinth as shown on plan.
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Terrace with a pergola
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	28.21 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.55 metres from the Principal Boundary, for a length of 8.0 metres measured from the Side Setback Line within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot. A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot. A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured 1.0 metre from the Side Boundary (both East and West) as shown on the Plan.
g.	BTL Percentage	80% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Setback	
i.	Permitted Encroachments beyond the Principal Setback	Eaves, Bay Windows, Pergola, Balcony.
ii.	Extent to which Permitted Encroachments may encroach beyond the Principal Setback	3.55 metres measured from the Principal Setback Line, within the Permitted Encroachment Zone as shown on the Plan.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach beyond the Rear Setback	N/A

ITEM	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West)
d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack.
10.	Attached Fencing and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (East)	Open Outlook. <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (West)	Restricted Outlook <ul style="list-style-type: none"> Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes - Gable End (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR').
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

- C** Cottage Type
- H** House Type
- (SDR)** Specific Design Requirements (refer to Operative Provision No.12)
- [Blue Area]** Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- [Red Dashed Line]** Build-to-line (BTL) (refer to Operative Provision No. 6)
- [28.40]** Datum and Pad Level (refer Operative Provision No. 5)
- ±26.50** Spot Levels
- [Blue Box]** Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- [Red Hatched Box]** Entry Steps
- [Red Line]** Indicative Retaining Wall Locations
- [Orange Line]** Retaining Wall Type 2
- [Grey Line]** No Vehicular Access
- [Green Hatched Box]** Indicative Services Area
- 1** Principal Boundary
- 2** Side Boundary (East)
- 3** Side Boundary (West)
- 4** Rear Boundary
- [Orange Arrow]** Proposed Light Pole Location



Lot 293 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 293. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. A Principal Boundary retaining wall and internal stair plinth as shown on plan.
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Terrace with a pergola
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	28.40 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.55 metres from the Principal Boundary, for a length of 8.0 metres measured from the Side Setback Line within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot. A portion of the Side Setback Lines (East) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured 1.0 metre from the Side Boundary (both East and West) as shown on the Plan.
g.	BTL Percentage	80% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Setback	
i.	Permitted Encroachments beyond the Principal Setback	Eaves, Bay Windows, Pergola, Balcony
ii.	Extent to which Permitted Encroachments may encroach beyond the Principal Setback	3.55 metres measured from the Principal Setback Line, within the Permitted Encroachment Zone as shown on the Plan.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach beyond the Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West) and a portion of the Rear Boundary as depicted on the Plan.
d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack.
10.	Attached Fencing and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (East)	Open Outlook. <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (West)	Restricted Outlook <ul style="list-style-type: none"> Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes - Gable End (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR').
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

- C** Cottage Type
- H** House Type
- (SDR)** Specific Design Requirements (refer to Operative Provision No.12)
- [Blue Area]** Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- [Red Dashed Line]** Build-to-line (BTL) (refer to Operative Provision No. 6)
- [28.40]** Datum and Pad Level (refer Operative Provision No. 5)
- ⊕ 26.75** Spot Levels
- [Blue Area]** Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- [Red Hatched Area]** Entry Steps
- [Red Line]** Indicative Retaining Wall Locations
- [Orange Line]** Retaining Wall Type 2
- [Grey Line]** No Vehicular Access
- [Green Hatched Area]** Indicative Services Area
- 1** Principal Boundary
- 2a + 2b** Secondary Boundary
- 3a + 3b** Side Boundary (East)
- 4** Rear Boundary
- [Orange Arrow]** Proposed Light Pole Location

Lot 294 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 294. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall and stairs as shown on plan.
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	28.40 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary, for a length of 10.46 metres measured from the Secondary Setback Line within the Lot.
b.	Secondary Setback Line	2a) Is parallel to and located 2.35 metres from the Secondary Boundary within the Lot, for a distance of 5.0 metres measured from the Principal Setback Line. 2b) Is parallel to and located on the Secondary Boundary within the Lot.
c.	Side Setback Line (East)	3a) Is parallel to and located 1.55 metres from the Side Boundary (East) within the Lot. 3b) Is parallel to and located 1.0m from the Side Boundary (East) with the lot for a length of 20.1m measured from the Rear Boundary. A portion of the Side Setback Lines (East) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line	N/A
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL 1) is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 10.46 metres, measured from the Side Boundary (East) as shown on the Plan. BTL 2) is parallel to and located 2.35 metres from the Secondary Boundary 2a within the Lot for a length of 5.0 metres measured from the Principal Setback Line.
g.	BTL Percentage	BTL 1) 75% minimum and BTL 2) 100%
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Setback	
i.	Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps.
ii.	Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback	2a) Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps. 2b) N/A
ii.	Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	2a) 2.35 metres measured from the Secondary Setback Line. 2b) N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (East)	3a) Verandah, Portico and Gatehouse. 3b) Eaves, Shade Devices and Attached Fences.
ii.	Extent to which Permitted Encroachments may encroach beyond the Side Setback (East)	3a) 1.55 metres measured from the Secondary Setback Line 3a. 3b) N/A
d.	Encroachments into Rear Setback	
i.	Permitted Encroachments into Rear Setback	N/A

ITEM	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	A Return Verandah, a Projecting Front and a Return Verandah, Double Return Verandah
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (East)
d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack.
10.	Attached Fencing and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation (East)	Open Outlook. <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation	N/A
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes - Corner Treatment (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR').
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

V Villa Type

H House Type



Specific Design Requirements (refer to Operative Provision No.12)



Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)



Build-to-line (BTL) (refer to Operative Provision No. 6)



Datum and Pad Level (refer Operative Provision No. 5)



Spot Levels



Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)



Special Design Response - Private Landscaping



Entry Steps



Indicative Retaining Wall Locations



Retaining Wall Type 2



No Vehicular Access



Indicative Services Area



1a + 1b Principal Boundary



2 Secondary Boundary



3 Side Boundary (East)



4 Rear Boundary



Proposed Light Pole Location

Lot 295 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 295. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	65%
b.	Permitted Building Types	Villa, House
c.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall and stairs as shown on plan.
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	28.40 AHD, 30.56 AHD, 30.75 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	1a) Is parallel to and located 1.71 metres from the Principal Boundary (1a) within the Lot, for a distance of 7.65 metres measured from the Secondary Setback Line. 1b) Is parallel to and located 2.55 metres from Principal Boundary within the Lot for a distance of 17.53 metres measured 2.5 metres from the Rear Boundary.
b.	Secondary Setback Line	Is perpendicular to the Principal Boundary, measured 1.71 metres from the Principal Boundary and 3.11 metres from the Secondary Boundary for a length of 13.04 metres as depicted on the Plan.
c.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot.
d.	Side Setback Line	N/A
e.	Rear Setback Line	Is parallel to and located 1.2 metre from the rear boundary within the Lot as depicted on the Plan.
f.	Build-to-Line (BTL) Location	Yes. BTL 1) is parallel to and located 2.55 metres from the Principal Boundary within the Lot for a length of 17.53 metres, measured from the 2.5 metres from the Rear Boundary. BTL 2) is parallel to and located 1.71 metres from the Principal Boundary within the Lot for a length of 7.65 metres measured from the Secondary Setback Line as depicted on the Plan. BTL 3) is located on the Secondary Setback line for a length of 13.04 metres, as depicted on the Plan.
g.	BTL Percentage	BTL 1) 95% minimum, BTL 2) 100% and BTL 3) 80% minimum.
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls..
a.	Encroachments beyond Principal Setback	
i.	Permitted Encroachments beyond the Principal Setback	1a) Nil 1b) Verandah, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or piers to the Verandah, Steps.
ii.	Extent to which Permitted Encroachments may encroach beyond the Principal Setback	1a) N/A 1b) 2.55 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (East)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach beyond the Rear Setback	N/A

ITEM	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Villa/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (East) and a portion of the Rear Boundary as depicted on the Plan.
d.	Permitted Garage Disposition	Rear Direct , Rear Back Court, Rear Side Stack, Rear Side Court.
10.	Attached Fencing and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation (East)	Open Outlook. <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation	N/A
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes - Three required (mandated) SDR's SDR 1) A Gable End is mandated (no fence) SDR 2) A Gable End to mirror SDR 1 is mandated. SDR 3) Landscaping within the Lot as depicted on the Plan. For the purposes of this provision, Landscaping has the meaning attributed to it in the Architectural Standards for Jindee.
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

V Villa Type

H House Type



Specific Design Requirements (refer to Operative Provision No.12)

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

Datum and Pad Level (refer Operative Provision No. 5)

Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Special Design Response - Private Landscaping

Entry Steps

Indicative Retaining Wall Locations

Retaining Wall Type 2

No Vehicular Access

Indicative Services Area

1 Principal Boundary

2 Side Boundary (East)

3 Side Boundary (West)

4 Rear Boundary

Proposed Light Pole Location

Lot 296 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 296. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

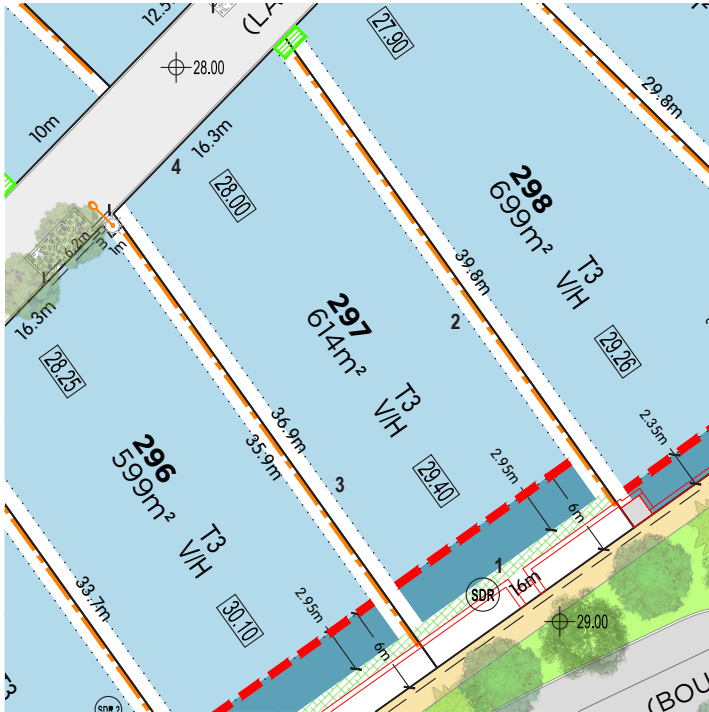
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	65%
b.	Permitted Building Types	Villa, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall and stairs as shown on plan.
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	N/A
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	28.25 AHD, 30.10AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 6.0 metres from the Principal Boundary, for a length of 15 metres measured from the Side Boundary, within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot.
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL Is parallel to and located on the Principal Setback Line.
g.	BTL Percentage	75%
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Setback	
i.	Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps.
ii.	Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.95 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach beyond the Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Villa/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West) and a portion of the Rear Boundary as depicted on the Plan.
d.	Permitted Garage Disposition	Rear Direct , Rear Side Court, Rear Back Court, Rear Side Stack.

ITEM	DESCRIPTION	REQUIREMENT
10.	Attached Fencing and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (East)	Open Outlook. <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (West)	Restricted Outlook <p>Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:</p> <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes - One required (mandated) SDR <p>SDR) Landscaping area within the Lot as depicted on the Plan. For the purposes of this provision, Landscaping has the meaning attributed to it in the Architectural Standards for Jindee.</p>
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

- V Villa Type
- H House Type
- (SDR) Specific Design Requirements (refer to Operative Provision No.12)
- Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- 29.40 Datum and Pad Level (refer Operative Provision No. 5)
- ±29.00 Spot Levels
- Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Special Design Response - Private Landscaping
- Entry Steps
- Indicative Retaining Wall Locations
- Retaining Wall Type 2
- No Vehicular Access
- Indicative Services Area
- 1 Principal Boundary
- 2 Side Boundary (East)
- 3 Side Boundary (West)
- 4 Rear Boundary
- Proposed Light Pole Location

Lot 297 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 297. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

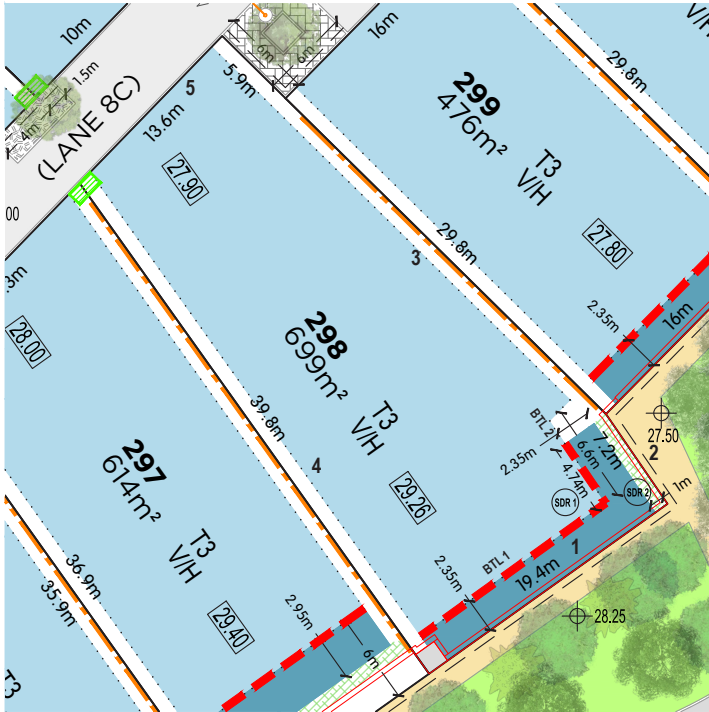
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	65%
b.	Permitted Building Types	Villa, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall and stairs as shown on plan.
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	N/A
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	28.00 AHD, 29.40 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 6.0 metres from the Principal Boundary, for a length of 14 metres measured from the Side Boundary, within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot.
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL is parallel to and located on the Principal Setback Line.
g.	BTL Percentage	75%
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Setback	
i.	Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps.
ii.	Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.95 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach beyond the Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Villa/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West)
d.	Permitted Garage Disposition	Rear Direct , Rear Side Court, Rear Back Court, Rear Side Stack.

ITEM	DESCRIPTION	REQUIREMENT
10.	Attached Fencing and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (East)	Open Outlook. <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (West)	Restricted Outlook <p>Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:</p> <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes - One required (mandated) SDR <p>SDR) Landscaping area within the Lot as depicted on the Plan. For the purposes of this provision, Landscaping has the meaning attributed to it in the Architectural Standards for Jindee.</p>
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

V Villa Type

H House Type



Specific Design Requirements (refer to Operative Provision No.12)

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

29.26 Datum and Pad Level (refer Operative Provision No. 5)

±28.25 Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Special Design Response - Private Landscaping

Entry Steps

Indicative Retaining Wall Locations

Retaining Wall Type 2

No Vehicular Access

Indicative Services Area

1 Principal Boundary

2 Secondary Boundary

3 Side Boundary (East)

4 Side Boundary (West)

5 Rear Boundary

Proposed Light Pole Location

Lot 298 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 298. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

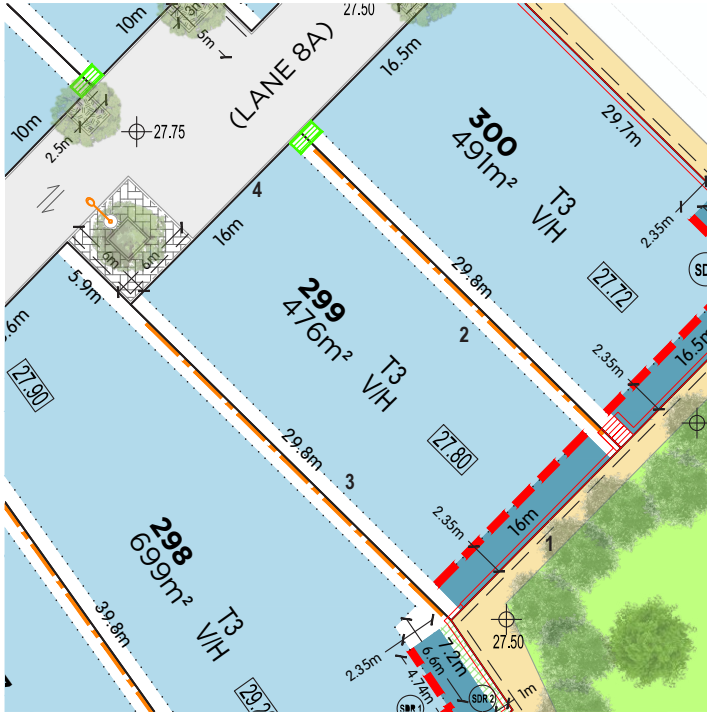
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	65%
b.	Permitted Building Types	Villa, House
c.	Lot Type Designation	Corner Lot
d.	Permitted Building Dispositions	Edgeyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall and stairs as shown on plan.
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	27.90 AHD, 29.26 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary within the Lot, for a length of 15.05 metres measured from the Secondary Setback line.
b.	Secondary Setback Line	Is parallel to and located 3.35 metres from the Secondary Boundary within the Lot, for a distance of 4.80 metres measured from the Principal Setback Line.
c.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot.
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL 1) is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 15.05 metres, measured from the Secondary Setback Line as shown on the Plan. BTL 2) is parallel to and located 3.35 metres from the Secondary Boundary within the Lot for a length of 4.74 metres measured from the Principal Setback Line.
g.	BTL Percentage	BTL 1) 80% minimum and BTL 2) 100%
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Setback	
i.	Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps.
ii.	Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps.
ii.	Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	2.35 metres measured from the Secondary Setback Line.
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach beyond the Side Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	A Return Verandah, a Projecting Front and a Return Verandah, a Double Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Villa / House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (East and West)
d.	Permitted Garage Disposition	Rear Direct , Rear Side Court, Rear Back Court, Rear Side Stack.
10.	Attached Fencing and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation (East)	Open Outlook. <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (West)	Restricted Outlook <ul style="list-style-type: none"> Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes -Two required (mandated) SDRs. SDR 1) Corner Treatment (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR'), or a Double Verandah. SDR 2) Landscaping area within the Lot as depicted on the Plan. For the purposes of this provision, Landscaping has the meaning attributed to it in the Architectural Standards for Jindee.
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

- V Villa Type
- H House Type
- (SDR) Specific Design Requirements (refer to Operative Provision No.12)
- Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- 27.80 Datum and Pad Level (refer Operative Provision No. 5)
- 27.75 Spot Levels
- Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Entry Steps
- Indicative Retaining Wall Locations
- Retaining Wall Type 2
- No Vehicular Access
- Indicative Services Area
- 1 Principal Boundary
- 2 Side Boundary (East)
- 3 Side Boundary (West)
- 4 Rear Boundary
- Proposed Light Pole Location



Lot 299 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 299. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	65%
b.	Permitted Building Types	Villa, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall and stairs as shown on plan.
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	27.80 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary within the Lot, for a length of 14.0 metres measured from the Side Setback Line.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot.
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 14.0 metres, measured 1.0 metre from the Side Boundary (both East and West) as shown on the Plan.
g.	BTL Percentage	80% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Setback	
i.	Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps.
ii.	Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach beyond the Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Villa / House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West), a portion of the Rear Boundary as depicted on the Plan.
d.	Permitted Garage Disposition	Rear Direct , Side Direct, Rear Back Court, Rear Side Stack.

ITEM	DESCRIPTION	REQUIREMENT
10.	Attached Fencing and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (East)	Open Outlook. <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (West)	Restricted Outlook <p>Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:</p> <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

V Villa Type

H House Type



Specific Design Requirements (refer to Operative Provision No.12)

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

27.72 Datum and Pad Level (refer Operative Provision No. 5)

±26.50 Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Entry Steps

Indicative Retaining Wall Locations

Retaining Wall Type 2

No Vehicular Access

Indicative Services Area

1 Principal Boundary

2a + 2b Secondary Boundary

3 Side Boundary (West)

4 Rear Boundary

Proposed Light Pole Location

Lot 300 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 300. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	65%
b.	Permitted Building Types	Villa, House
c.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall and stairs as shown on plan.
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	27.72 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary within the Lot, for a length of 13.15 metres measured from the Secondary Setback Line.
b.	Secondary Setback Line	2a) is parallel to and located 2.35 metres from the Secondary Boundary within the Lot, for a distance of 5.0 metres measured from the Principal Setback Line. 2b) is parallel to and located on the Secondary Boundary.
c.	Side Setback Line	N/A
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes, BTL 1) is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 13.15 metres, measured 1.0 metre from the Side Boundary (West) as shown on the Plan. BTL 2) is parallel to and located 2.35 metres from the Secondary Boundary 2a within the Lot for a length of 5.0 metres measured from the Principal Setback Line.
g.	BTL Percentage	BTL 1) 80% minimum and BTL 2) 100%
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Setback	
i.	Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps.
ii.	Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	2a) Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps. 2b) N/A
ii.	Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	2a) 2.35 metres measured from the Principal Setback Line. 2b) N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach beyond the Side Setback	N/A

ITEM	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	A Return Verandah, a Projecting Front and a Return Verandah, and a Double Return Verandah.
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Villa / House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (West) and a portion of the Rear Boundary as depicted on the Plan.
d.	Permitted Garage Disposition	Rear Direct , Side Direct, Rear Back Court, Rear Side Stack.
10.	Attached Fencing and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation	N/A
vi.	Side Elevation (West)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes - Corner Treatment (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR').
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

- Building Type**
- C Cottage Type
 - H House Type
- Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
 - Build-to-line (BTL) (refer to Operative Provision No. 6)
 - 26.78 Datum and Pad Level (refer Operative Provision No. 5)
 - ±25.50 Spot Levels
 - Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
 - Entry Steps
 - Indicative Retaining Wall Locations
 - Retaining Wall Type 2
 - No Vehicular Access
 - Indicative Services Area
 - 1 Principal Boundary
 - 2 Side Boundary (North)
 - 3 Side Boundary (South)
 - 4 Rear Boundary
 - ✦ Proposed Light Pole Location



Lot 944 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 944. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

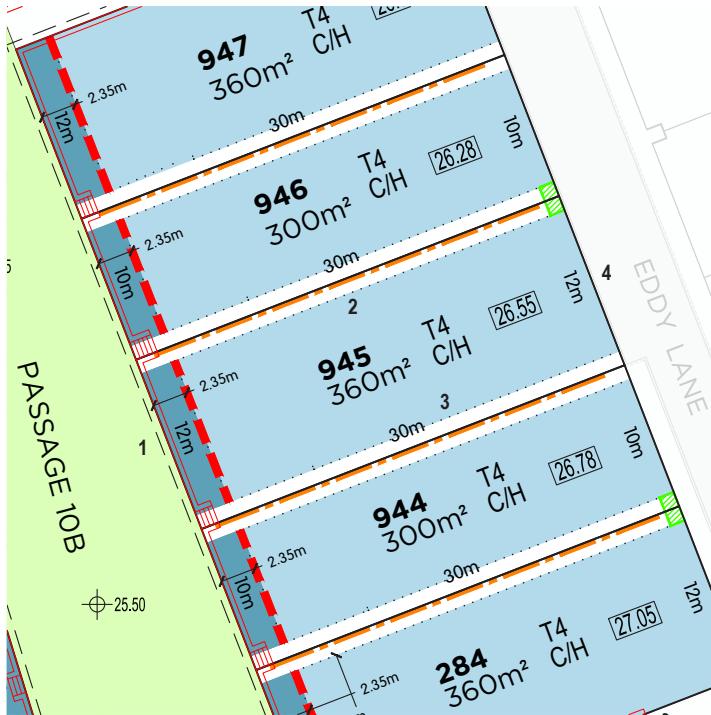
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft.
b.	Maximum Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	26.78 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary within the Lot, for a length of 8.0 metres measured from the Side Setback Line.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot. A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot. A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured 1.0 metre from the Side Boundary (both North and South) as shown on the Plan.
g.	BTL Percentage	90% minimum.
h.	Required Parapet Wall Location	N/A
7	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
8	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, a Return Verandah, a Double Return Verandah.

ITEM	DESCRIPTION	REQUIREMENT
9	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House- 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack.
10	Attached Fence and Sideyard Walling	
a.	Type required	Attached Fence
11	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (North)	Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (South)	Restricted Outlook <ul style="list-style-type: none"> Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15	External Fixtures	Refer - Private Realm Operative Provisions
16	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

- C** Cottage Type
- H** House Type
- Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- 26.55 Datum and Pad Level (refer Operative Provision No. 5)
- ± 25.50 Spot Levels
- Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Entry Steps
- Indicative Retaining Wall Locations
- Retaining Wall Type 2
- No Vehicular Access
- Indicative Services Area
- 1** Principal Boundary
- 2** Side Boundary (North)
- 3** Side Boundary (South)
- 4** Rear Boundary
- Proposed Light Pole Location



Lot 945 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 945. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

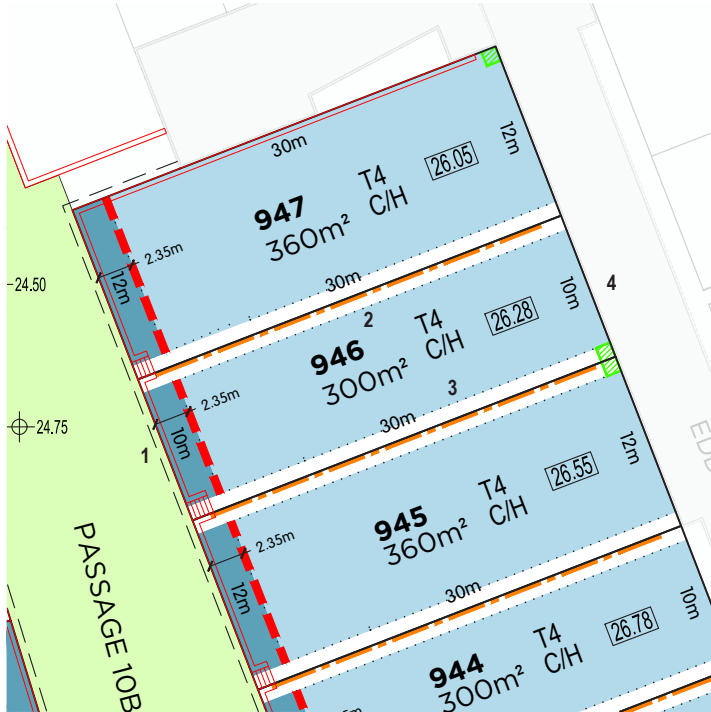
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall and stairs as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft.
b.	Maximum Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	26.55 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary within the Lot, for a length of 10.0 metres measured from the Side Setback Line.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot. A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot. A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 10.0 metres, measured 1.0 metre from the Side Boundary (both North and South) as shown on the Plan.
g.	BTL Percentage	90% minimum
h.	Required Parapet Wall Location	N/A
7	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
8	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, a Return Verandah, a Double Return Verandah.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House- 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached Fence and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (North)	Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (South)	Restricted Outlook <ul style="list-style-type: none"> Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

- C** Cottage Type
- H** House Type
- Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- Datum and Pad Level (refer Operative Provision No. 5)
- ϕ 24.75 Spot Levels
- Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Entry Steps
- Indicative Retaining Wall Locations
- Retaining Wall Type 2
- No Vehicular Access
- Indicative Services Area
- 1** Principal Boundary
- 2** Side Boundary (North)
- 3** Side Boundary (South)
- 4** Rear Boundary
- Proposed Light Pole Location

Lot 946 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 946. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

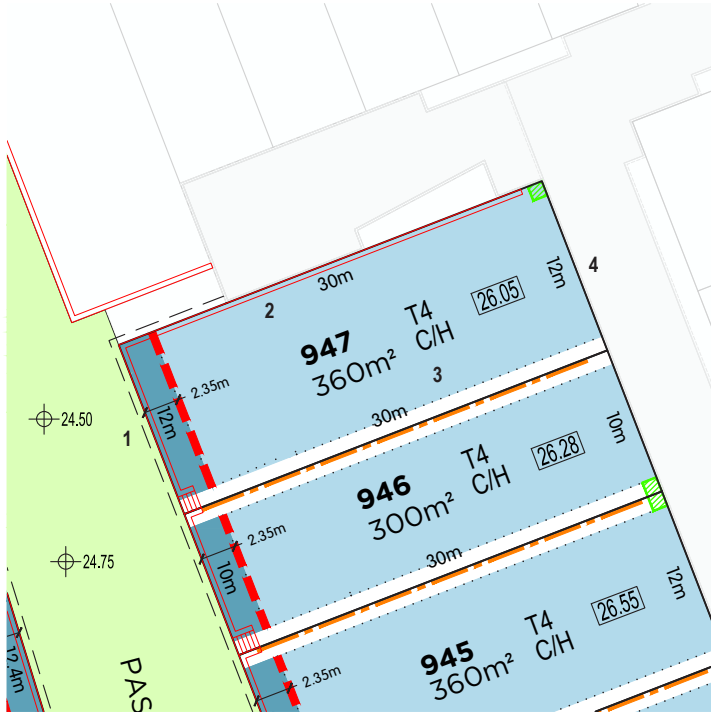
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Type	Cottage, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall and stairs as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	26.28 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary within the Lot, for a length of 8.0 metres measured from the Side Setback Line.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot. A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot. A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured 1.0 metre from the Side Boundary (both North and South) as shown on the Plan.
g.	BTL Percentage	90% minimum
h.	Required Parapet Wall Location	N/A
7	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
8	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, a Return Verandah, a Double Return Verandah.

ITEM	DESCRIPTION	REQUIREMENT
9	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House- 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack.
10	Attached Fence and Sideyard Walling	
a.	Type required	Attached Fence
11	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> • Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; • Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (North)	Open Outlook <ul style="list-style-type: none"> • Openings permitted. • Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (South)	Restricted Outlook <ul style="list-style-type: none"> • Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> • is a Celestial Window; or • is Screened; or • is fitted with Opaque Glass.
12	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15	External Fixtures	Refer - Private Realm Operative Provisions
16	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

- C** Cottage Type
- H** House Type
- Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- 26.05 Datum and Pad Level (refer Operative Provision No. 5)
- ±24.50 Spot Levels
- Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Entry Steps
- Indicative Retaining Wall Locations
- Retaining Wall Type 2
- No Vehicular Access
- Indicative Services Area
- 1** Principal Boundary
- 2** Secondary Boundary
- 3** Side Boundary (South)
- 4** Rear Boundary
- Proposed Light Pole Location



Lot 947 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 947. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

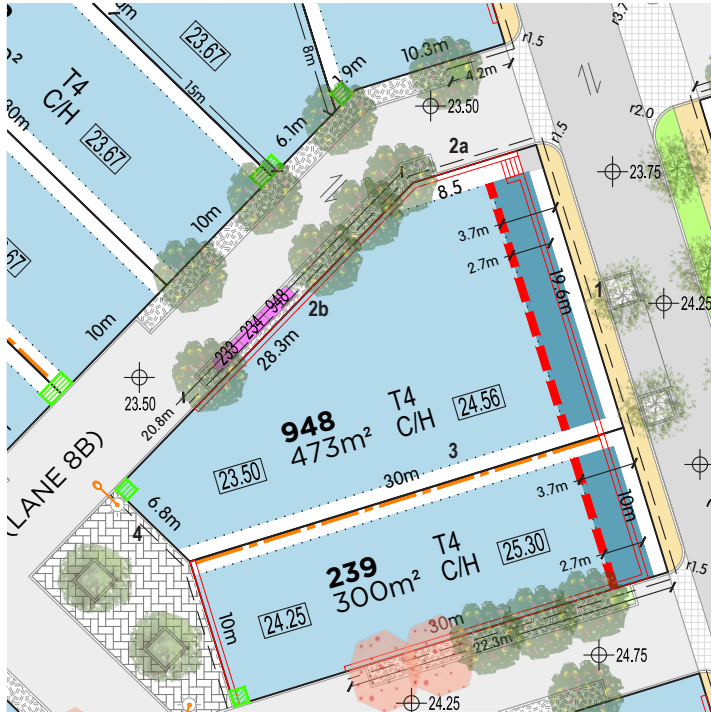
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft.
b.	Maximum Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	26.05AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary within the Lot, for a length of 11.0 metres measured from the Secondary Boundary.
b.	Secondary Setback Line (North)	Is parallel to and located on the Secondary Boundary (North) within the Lot.
c.	Side Setback Line	N/A
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot. A portion of one (1) of the Side Setback Lines (South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 11.0 metres, measured 1.0 metre from the Side Boundary (North) as shown on the Plan.
g.	BTL Percentage	90% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback (North)	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, a Return Verandah, a Double Return Verandah.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House- 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary and Side Boundary (South)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached Fence and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation (North)	N/A
vi.	Side Elevation (South)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

- C** Cottage Type
- H** House Type
- Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- 24.56 Datum and Pad Level (refer Operative Provision No. 5)
- ⊕ 23.50 Spot Levels
- Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Entry Steps
- Indicative Retaining Wall Locations
- Retaining Wall Type 2
- No Vehicular Access
- Indicative Services Area
- 1** Principal Boundary
- 2a + 2b** Secondary Boundary
- 3** Side Boundary (South)
- 4** Rear Boundary
- ★ Proposed Light Pole Location



Lot 948 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 948. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall as shown as shown on plan.
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	23.50 / 24.60 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.7 metres from the Principal Boundary, for a length of 17.05 metres measured 1.55m from the Secondary Boundary, within the Lot.
b.	Secondary Setback Line	2a) is parallel to and located 1.0 metre from the Secondary Boundary within the Lot as depicted on the Plan; and 2b) is parallel to and located on the Secondary Boundary within the Lot as depicted on the Plan.
c.	Side Setback Line	N/A
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot. A portion of the Side Setback Line (South) may be located on the relevant Side Boundary (South), for a distance of up to 12.0 meters, measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.7 metres from the Principal Boundary within the Lot for a length of 17.60 metres, measured 1.0 metre from the Side Boundary (South) as shown on the Plan.
g.	BTL Percentage	80% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Setback	
i.	Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.7 metres measured from the Principal Setback Line.
b.	Encroachments beyond Secondary Setback	
i.	Permitted Encroachments beyond the Secondary Setback.	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah, and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, a portion of the Secondary Boundary as depicted on the Plan, Side Boundary (South), Rear Boundary.
d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack.
10.	Attached Fencing and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation	
vi.	Side Elevation (South)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

- H** House Type
- APT** Apartment House Type
- (SDR)** Specific Design Requirements (refer to Operative Provision No.12)
- Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- 23.67 Datum and Pad Level (refer Operative Provision No. 5)
- ⊕21.25 Spot Levels
- Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Entry Steps
- Indicative Retaining Wall Locations
- Retaining Wall Type 2
- No Vehicular Access
- Indicative Services Area
- 1a + 1b** Principal Boundary
- 2** Side Boundary (East)
- 3** Side Boundary (West)
- 4** Rear Boundary
- ✦ Proposed Light Pole Location



Lot 949 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 949. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	As determined by the extent of development provisions contained in the LDP.
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Types	House, Apartment House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall and stairs as shown on plan.
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah, or a Terrace with a Pergola.
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	23.67 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	1a) Is parallel to and located 2.35 metres from the Principal Boundary for a length of 10.76 metres, and 1b) follows a parallel offset of 3.55 metres from the Principal Boundary 1b for a length of 7.3 metres as depicted on the Plan.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot. A portion of the Side Setback Line may be located on the Side Boundary (East), for a distance of up to 8.0 metres measured from the Rear Boundary.
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot. A portion of the Side Setback Line may be located on the Side Boundary (West), for a distance of up to 15.0 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL 1) is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 10.03 metres, measured from the Side Setback Line (West) as shown on the Plan BTL 2) is parallel to and located 3.9 metres from the Principal Boundary 1b within the Lot for a length of 7.94 metres measured from the Side Setback Line (East) as shown on the Plan.
g.	BTL Percentage	BTL 1) 80% minimum, and BTL 2) 95% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls..
a.	Encroachments beyond Principal Setback	
i.	Permitted Encroachments beyond the Principal Setback	1a + 1b) Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Gatehouse, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach beyond the Principal Setback	1a + 1b) 2.35 metres measured from the Principal Setback Line. Note: Depth of Principal Building and Projecting Front width is based on BTL 1 dimension only.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah, and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	House - 2 bays Apartment House - 1 bay/ 1 bedroom dwelling 2 bays/ 2+ bedroom dwelling
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West)
d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack, Rear Back Court.
10.	Attached Fencing and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (East)	Open Outlook. <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (West)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes - Terminating Vista (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR')
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions

